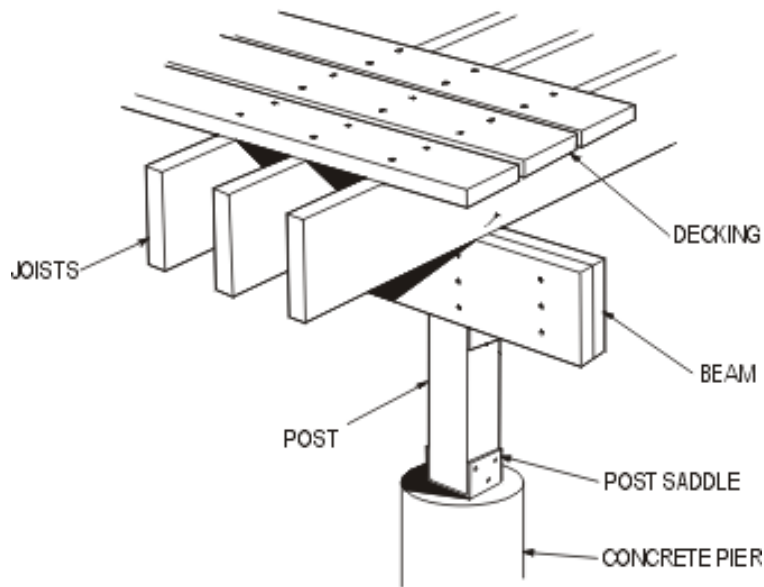




Town of
East Gwillimbury

BUILDING PERMIT APPLICATION PROCESS FOR DECKS, BALCONIES & PORCHES



Revised: March 2022

“Our town, Our future”
19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808
www.eastgwillimbury.ca



DEFINITIONS

The following definitions set out in the Town of East Gwillimbury Zoning By-law# 2018-043:

BALCONY: a horizontal platform that is attached to a building above the first storey, may be partially enclosed with at least one face open to the movement of air and is only directly accessible from within the building.

DECK: a structure without a roof that rests upon the ground or is supported by a foundation that extends from the ground, which may be intended for use as an outdoor amenity area and may include a pergola or canopy, but does not include a balcony, patio or porch.

LOT LINE, EXTERIOR SIDE: the lot line of a corner lot, other than the front lot line, which divides the lot from a street or a 0.3 metre reserve abutting said street.

LOT LINE, FRONT: the lot line that divides the lot from the street or a 0.3 metre reserve abutting said street(s). In the case of a corner lot, the shorter lot line that abuts a street is deemed to be the front lot line and the longer lot line that abuts a street is deemed to be an exterior side lot line. In the case of a through lot, only one lot line shall be considered the front lot line. In the case of a through lot or a corner lot with street lines of equal length, the Town may designate the front lot line.

LOT LINE, INTERIOR SIDE: a lot line, other than a rear lot line that does not abut a street.

LOT LINE, REAR: the lot line opposite to, and most distant from the front lot line. For the purpose of this definition, a point where 2 interior side or 2 exterior side or 1 exterior side and 1 interior side lot lines intersect shall be deemed as a rear lot line.

MAIN BUILDING: the building from which the main use of a lot is conducted.

PORCH: a structure with a roof and at least one side that is open and unenclosed that may be accessed by stairs from grade.


YARD: an open, uncovered space on a lot pertaining to a building and unoccupied by buildings or structures except as specifically permitted in this Bylaw.

YARD, FRONT: a yard extending across the full width of the lot between the front lot line and the nearest main walls of the main building or structure on the lot.

YARD, INTERIOR SIDE: a yard other than an exterior side yard that extends from the front yard to the rear yard between the interior side lot line and the nearest main walls of the main building or structure on the lot.

“Our town, Our future”

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808
www.eastgwillimbury.ca



YARD, MINIMUM: the minimum distance of a yard required from a lot line. In calculating minimum yards, the minimum horizontal distance from the respective lot lines is to be used.

YARD, REAR: a yard extending across the full width of the lot between the rear lot line and the nearest main walls of the main building or structure on the lot.

PORCHES

The Town of East Gwillimbury Zoning By-law # 2018-043, Section 4.8, permits **porches** in the **front, interior** and **exterior side yards** in accordance with the following regulations:

- (a) No part may be closer than 1.2 metres **front lot line** or **exterior side lot line** and no closer than the required **interior side yard** for the **main building**
- (b) The maximum permitted encroachment into the required **rear yard** setback is 3.0 metres.
- (c) Stairs or landings associated with a porch may not be located any closer to the **front** and **exterior side lot line** than 0.5 metres and from the **interior side lot line** 0.5 metres, or meet the minimum **interior side yard** whichever is less.

BALCONIES

The Town of East Gwillimbury Zoning By-law # 2018-043, Section 4.8, permits **balconies** in the **front, interior** and **exterior side yards** in accordance with the following regulations:


- (d) No part may be closer than 1.2 metres **front lot line** or **exterior side lot line** and no closer than the required **interior side yard** for the **main building**
- (e) The maximum permitted encroachment into the required **rear yard** setback is 1.8 metres.

DECKS

The Town of East Gwillimbury Zoning By-law # 2018-043, Section 4.7, permits **decks**, that have floor height of 3.0 metres or less measured from the average grade level adjacent to deck, in the **interior side yard, exterior side yard** and **rear yard** in accordance with the following regulations:

- (f) No closer than the minimum required **yard** for the **main building** from the **front, interior** and **exterior side lot line**.
- (g) No closer than 3.0 metres from the **rear lot line**.

“Our town, Our future”



Decks having a floor height of more than 3.0 metres measured from the average grade level adjacent to the **deck** are only permitted in the **rear yard** provided that the **deck** is no closer than the required minimum **interior side yard** and no closer than 5.0 metres from the **rear lot line**.

Stairs used to access **decks** shall be setback a minimum of 0.5 metres from any **lot line** or meet the **minimum yard setback**, whichever is the lesser.

GENERAL REQUIREMENTS

Designers Qualification and Registration Requirements:

Homeowners completing designs for projects for their own residence are exempt from qualification and registration requirement, however, individuals and agencies providing design services to the public have to meet the qualification and registration requirements set out by the *Ministry of Municipal Affairs and Housing*. You can confirm the qualification and registration status of your designer by referring to the ministry's on-line qualification and registration system (QUARTs) at www.obc.mah.gov.on.ca.

APPLICATION REQUIREMENTS

All attached decks require application for a building permit. Detached decks with an area greater than ten (10) square meters, one hundred and eight (108) square feet, also require a building permit. A completed building application form is required and accompanied by **two copies** of reviewable deck plans. These plans must contain the following:

1. A fully dimensioned and to scale site plan showing all existing buildings and structures. The proposed deck is to be plotted on the site plan with setback dimensions to all property lines to be shown thereon.
2. Detail drawing prepared by homeowner, qualified individuals or agencies to reflect the actual proposal (Please inquire about our Local Designer List). These drawings must show:
 - height of deck above finished grade
 - deck-flooring type (wood, vinyl, etc.)

“Our town, Our future”

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808
www.eastwillimbury.ca

- 
- direction, size and spacing of all floor joists, posts and beams
 - connections: post to beam, post to pad or foundation
 - method of attachment to house
 - roof framing detail, roof covering (if applicable)
 - stair detail (rise, run, width, handrails) and guardrail details
 - all wood as being treated or of natural resistance to decay
 - guard to deck /stair connection detail
 - where composite decking is proposed, include manufacturer's specifications
 - where aluminum or glass guards are proposed, include manufacturer's specifications
3. Required Applicable Law Approvals (where applicable); please contact the Permit Coordinator in the Building Branch (ext. 1268 and 1297) to confirm which applicable law approvals are required for your application.
 4. All approvals from other departments and agencies must be obtained prior to submission of your building permit application.

Note: The drawings included in Schedule A are for sample purposes only. They may be used as the permit application drawings only if the proposed deck is similarly a rectangle in shape.

PERMIT FEES

Building fees are based on a minimum fee **or** a per square footage fee (whichever is greater). A permit fee deposit is due at the time of permit application submission. The fee will be calculated at the time of submission based on the plans submitted. The fees will be recalculated during a detailed review of the application and any discrepancies with the initial deposit will be rectified at the time of permit issuance.



INSPECTIONS

It is the owner's/applicant's responsibility to provide notice of readiness for inspections at prescribed stages of construction. There are typically 3 mandatory inspections for residential deck projects: 1. Prior to pouring the concrete for the footings (piers), 2. Framing and 3. Completion of the project. Please refer to the orange sticker that will be attached to the approved drawings to find the applicable inspections for your project.

To make an Inspection request:

- Call (905) 478-4282 (ext. 3827)
- Email buildinginspections@eastwillimbury.ca
- Visit the Town of EG's website to book inspections online at the following url:
http://www.eastwillimbury.ca/Services/Building_Permits_and_Inspections

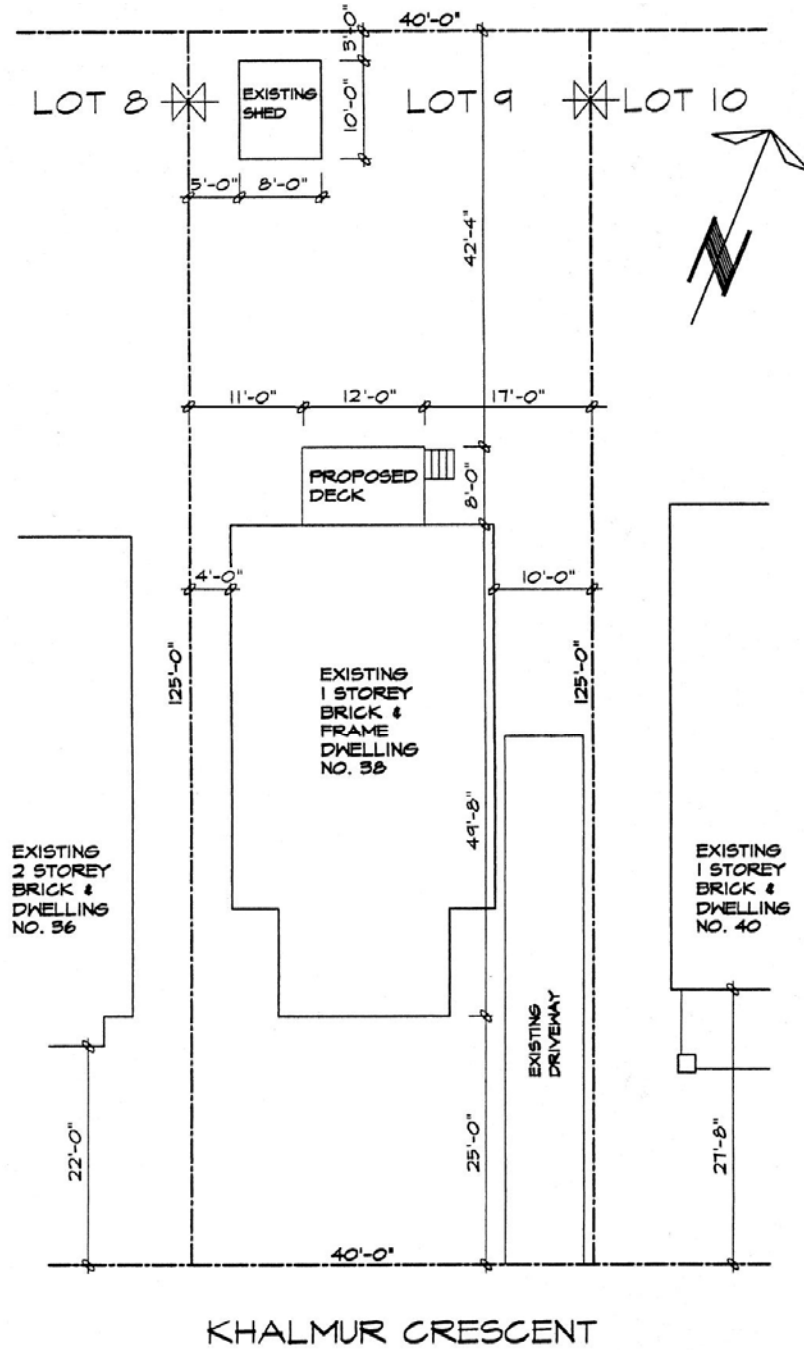
Please submit your inspection request between 8:30a.m. and 3:30p.m Monday to Friday. Inspections are conducted between 1:00 p.m. and 4:30 p.m., within 48 hours. In order for the Administrative Assistant to book an inspection the following information is required: Municipal address, building permit number, type of inspection, and requested inspection date.

"Our town, Our future"

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808
www.eastwillimbury.ca

SCHEDULE A

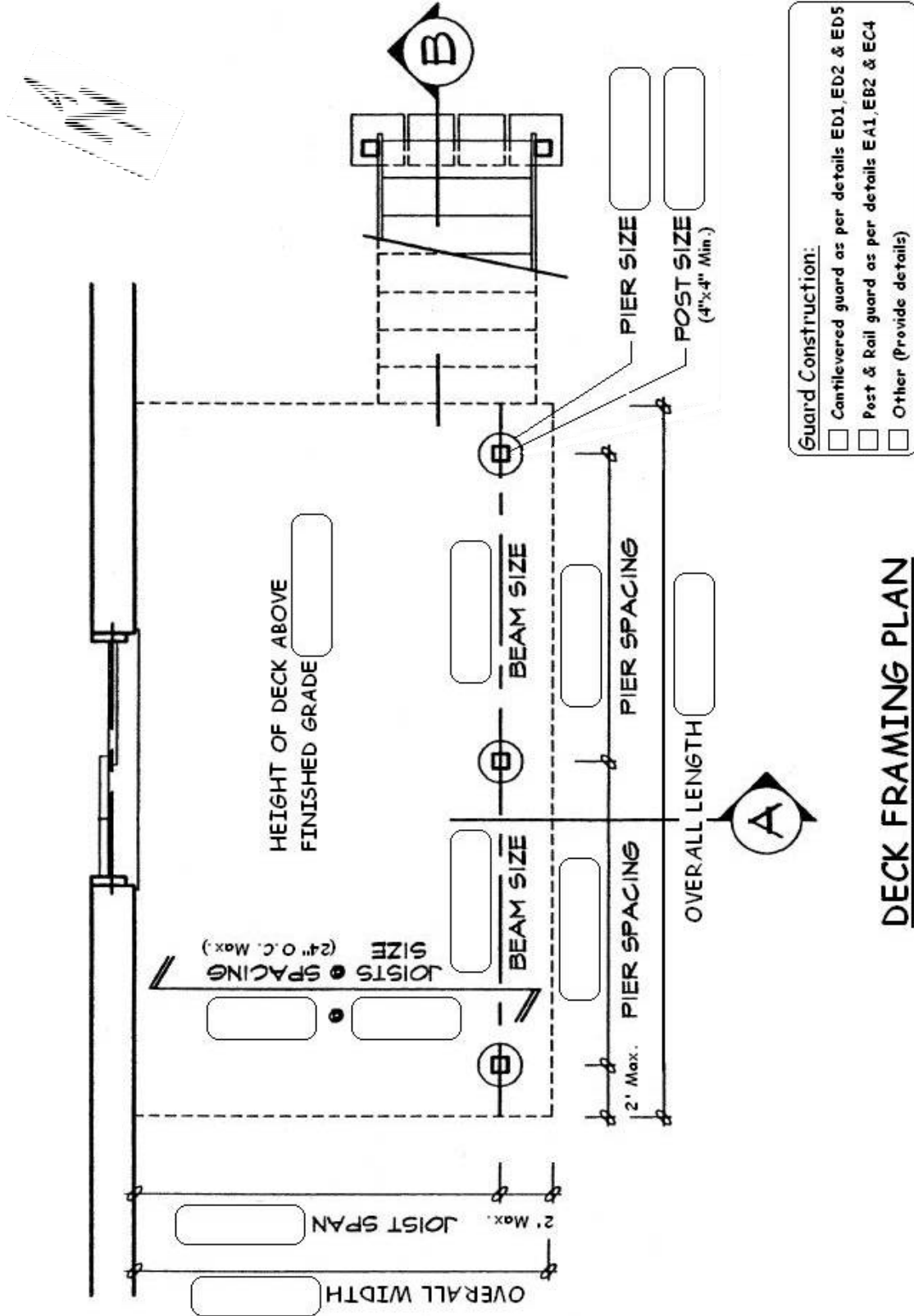
SAMPLE SITE PLAN:



SITE PLAN
SCALE 1" = 15'-0"

"Our town, Our future"

DECK FRAMING PLAN:

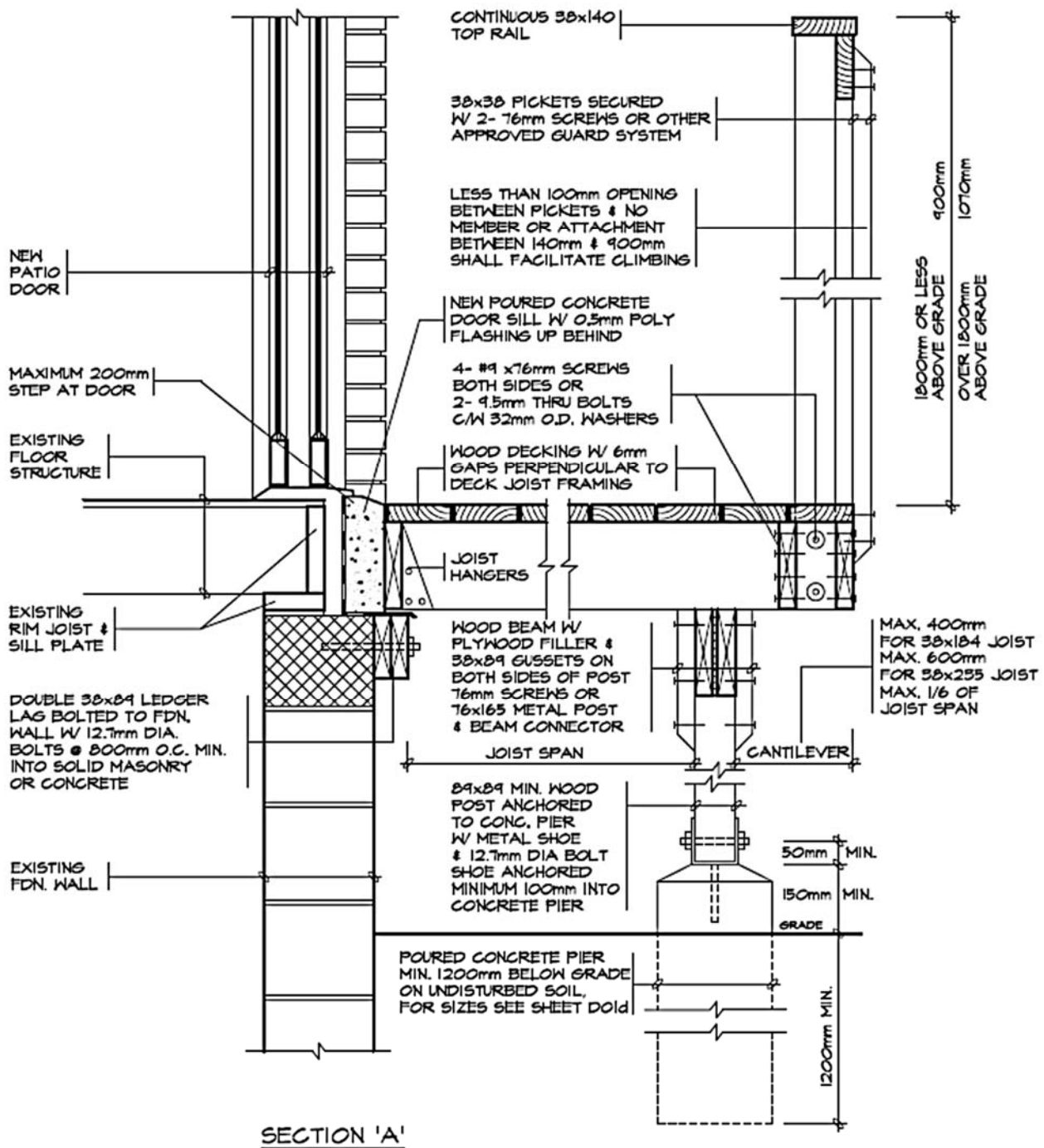


- Guard Construction:**
- Cantilevered guard as per details ED1, ED2 & ED5
 - Post & Rail guard as per details EA1, EB2 & EC4
 - Other (Provide details)

O.B.C. SB-7

DECK FRAMING PLAN

ALL WOOD TO BE WEATHER PROTECTED.



"Our town, Our future"

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808
www.eastwillimbury.ca

POST, BEAM AND JOIST SIZING TABLES

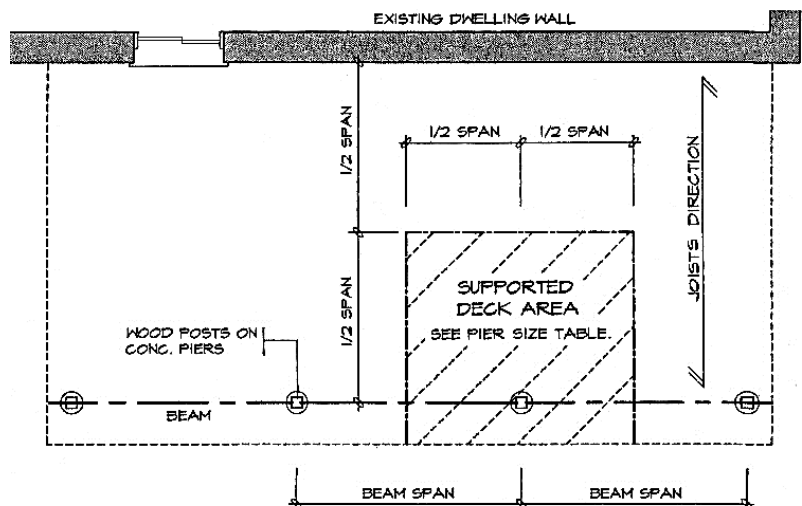
Use Live Load 2.5 kPa for East Gwillimbury (minimum requirement)

BEAM SIZING TABLE						
SUPPORTED JOIST LENGTH (mm)	LIVE LOAD 2.5 kPa			LIVE LOAD 3.0 kPa		
	PIER SPACING (mm)			PIER SPACING (mm)		
	2000	3000	4000	2000	3000	4000
1500	2/38x140	3/38x184	3/38x235	3/38x140	2/38x235	2/38x286
2000	2/38x184	2/38x235	3/38x286	2/38x184	2/38x235	3/38x286
2500	2/38x184	3/38x235	3/38x286	2/38x184	3/38x235	4/38x286
3000	2/38x184	3/38x235	4/38x286	2/38x184	3/38x235	4/38x286
3500	2/38x184	3/38x235	4/38x286	3/38x184	3/38x286	N/A
4000	2/38x184	3/38x286	N/A	3/38x184	3/38x286	N/A

JOIST SIZING TABLE						
JOIST SPAN (mm)	LIVE LOAD 2.5 kPa			LIVE LOAD 3.0 kPa		
	JOIST SPACING (mm)			JOIST SPACING (mm)		
	305	406	610	305	406	610
2000	38x140	38x140	38x140	38x140	38x140	38x140
2500	38x140	38x140	38x184	38x140	38x184	38x184
3000	38x184	38x184	38x235	38x184	38x184	38x235
3500	38x184	38x235	38x235	38x235	38x235	38x235
4000	38x235	38x235	38x286	38x235	38x235	38x286

POST SIZING TABLE				
POST SIZE (mm)	MAXIMUM HEIGHT (M)	MAX. SUPPORTED DECK AREA (M ²)		
		LIVE LOAD (kPa)		
		1.9	2.5	3.0
89x89	1.0	10.86	8.71	7.48
	1.5	5.93	4.76	4.09
	2.0	3.15	2.53	2.17
140x140	2.0	13.67	10.98	9.43
	2.5	9.32	7.48	6.43
	3.0	6.35	5.10	4.38
	3.5	4.41	3.54	3.04

LUMBER CONVERSIONS	
38 x 89mm = 2" x 4"	38 x 235mm = 2" x 10"
38 x 140mm = 2" x 6"	38 x 286mm = 2" x 12"
38 x 184mm = 2" x 8"	



"Our town, Our future"

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808

www.eastgwillimbury.ca



PIER SIZING CALCULATIONS

Complete the following calculation for each proposed sonotube.

To do so you will need to determine the following pieces of information:

1. Determine the supported deck area for each of the proposed piers (the last diagram on the previous page depicts this).
2. The soil bearing capacity used shall be 75 kPa, unless a soils report is provided to show there is a higher bearing capacity present on the property.

$$\text{PIER SIZE (M2)} = \frac{\text{SUPPORTED DECK AREA (M2)} \times \mathbf{2.5} \text{ (kpa) LIVE LOAD}}{\text{SOIL BEARING CAPACITY (kpa)}}$$

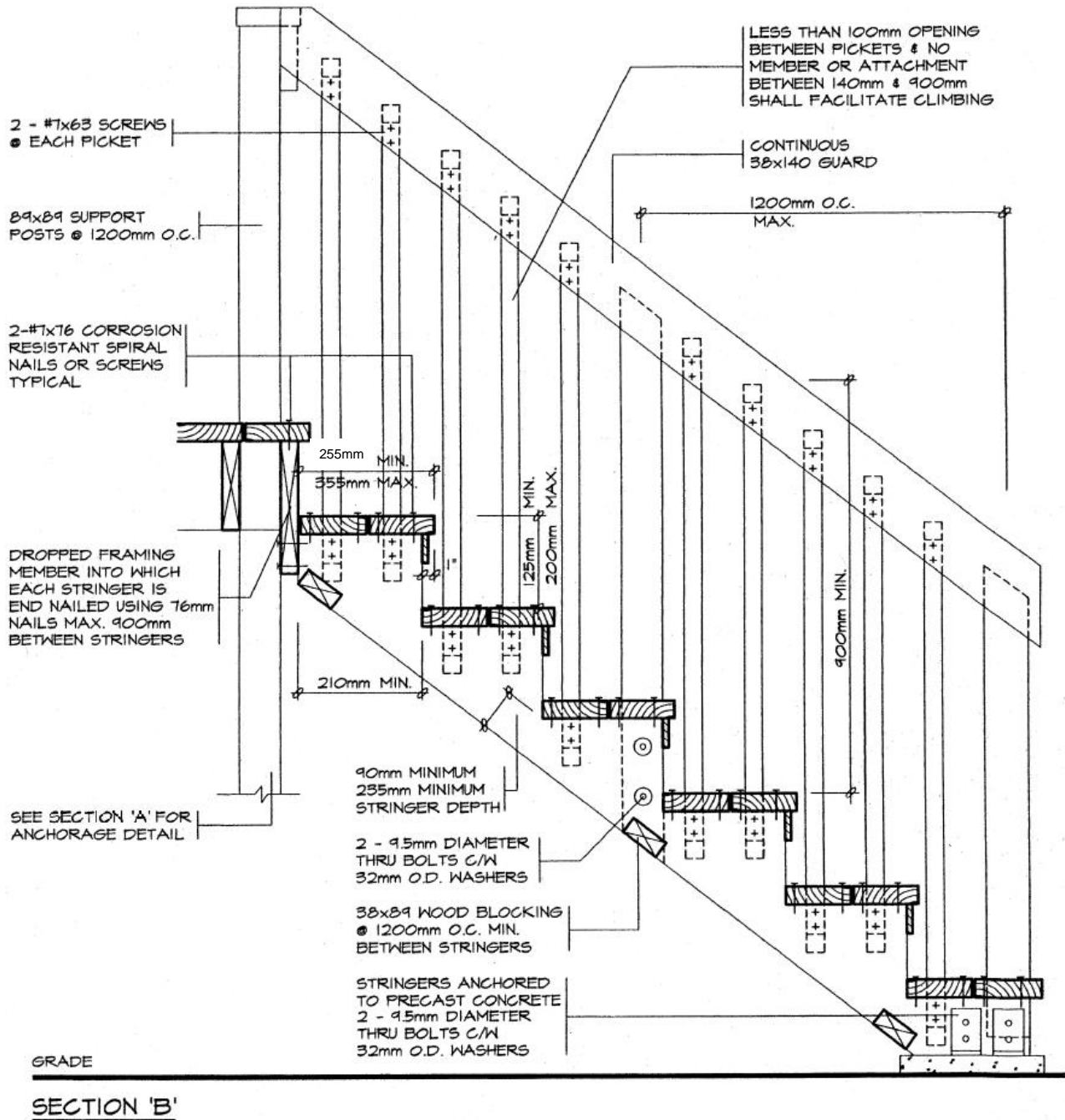
To find the required diameter of the pier size, use the area (m2) that was determined above to solve for 'r' (radius) in the formula below. Multiple 'r' by two to find the diameter.

$$r = \sqrt{\frac{A}{\pi}}$$

"Our town, Our future"

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808
www.eastwillimbury.ca

STAIR SECTION

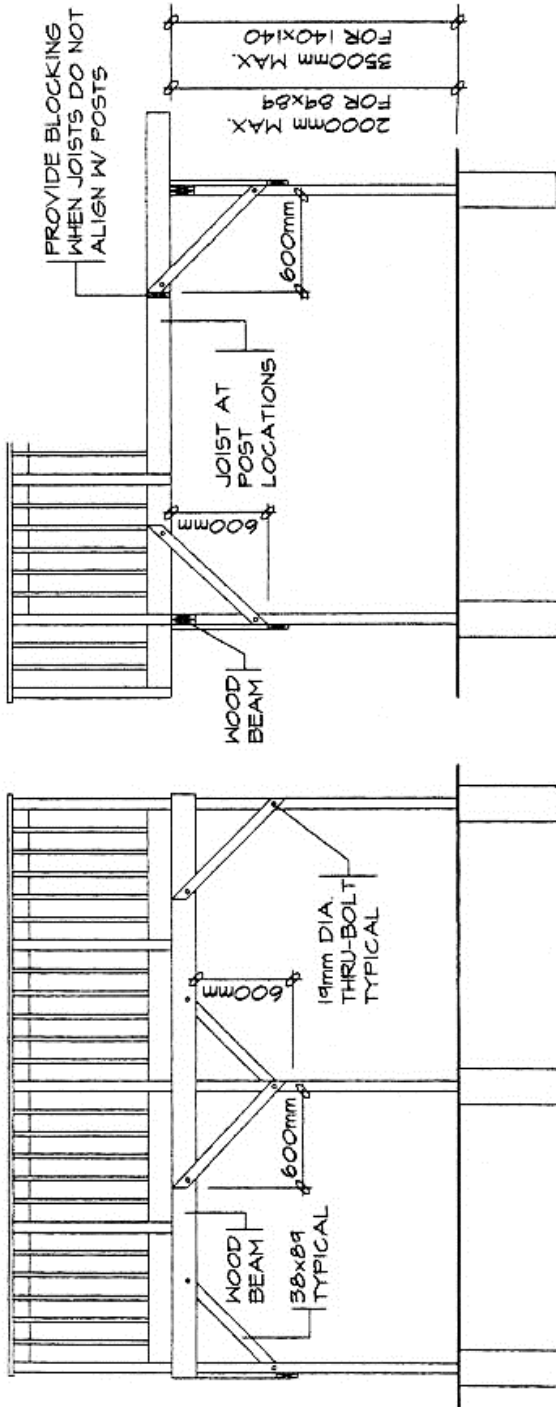


"Our town, Our future"

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808

www.eastwillimbury.ca

BRACING AND GENERAL NOTES



BRACING PERPENDICULAR TO BEAM

BRACING PARALLEL TO BEAM

FREE STANDING DECKS GREATER THAN 600mm ABOVE GRADE SHALL RESIST LATERAL LOADING & MOVEMENT. ALL POSTS MUST BE BRACED WHERE THE SUPPORTED AREA EXCEEDS THOSE LISTED IN THE TABLE 1

GENERAL NOTES

1. A MINIMUM LIVE LOAD OF 2.5 kPa SHALL BE APPLIED IN ALL LOCATIONS.
2. THE PRESCRIBED SNOW LOAD FOR 225 SELECTED ONTARIO LOCATIONS IS INDICATED IN COLUMN 12 OF TABLE 12 IN SUPPLEMENTARY GUIDELINE SB-1 OF THE ONTARIO BUILDING CODE. THE SNOW LOAD SHALL BE APPLIED AS THE MINIMUM LIVE LOAD WHERE IT IS GREATER THAN 1.4 (kPa)
3. A SITE PLAN OR SURVEY IS REQUIRED SHOWING ALL LOT LINES & DIMENSIONS, SIZE & LOCATION OF ALL EXISTING BUILDINGS & DECKS.
4. LUMBER NO. 2 SPF OR BETTER WOOD POSTS MIN. 89x89 (SOLID). USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS.
5. A DECK IS NOT PERMITTED TO BE SUPPORTED ON BRICK VENEER.
6. CANTILEVERED JOISTS AND BEAMS ARE LIMITED TO 1/6 THE MEMBERS LENGTH.
7. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL. THE BEARING CAPACITY OF THE SOIL SHALL BE DETERMINED PRIOR TO CONSTRUCTION.
8. MAXIMUM HEIGHT REFERS TO THE HEIGHT OF THE POST FROM THE TOP OF THE PIER TO THE DECK SURFACE.
9. BEAMS WITH MORE THAN 2 MEMBERS MUST BE SUPPORTED BY 140x140 POSTS.
10. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE REDUCED BY 50% WHILE THE WATER IS AT OR NEAR THE BOTTOM OF THE FOOTING EXCAVATION.
11. CONTACT YOUR LOCAL BUILDING DEPARTMENT FOR FURTHER INFORMATION ABOUT LOCAL SOIL BEARING CAPACITIES.
12. JOISTS SPANNING MORE THAN 2100mm ARE TO HAVE BRIDGING AT LEAST EVERY 2100mm O.C..

“Our town, Our future”

19000 Leslie Street, Sharon, Ontario L0G 1V0 Tel: 905-478-4282 Fax: 905-478-2808

www.eastwillimbury.ca