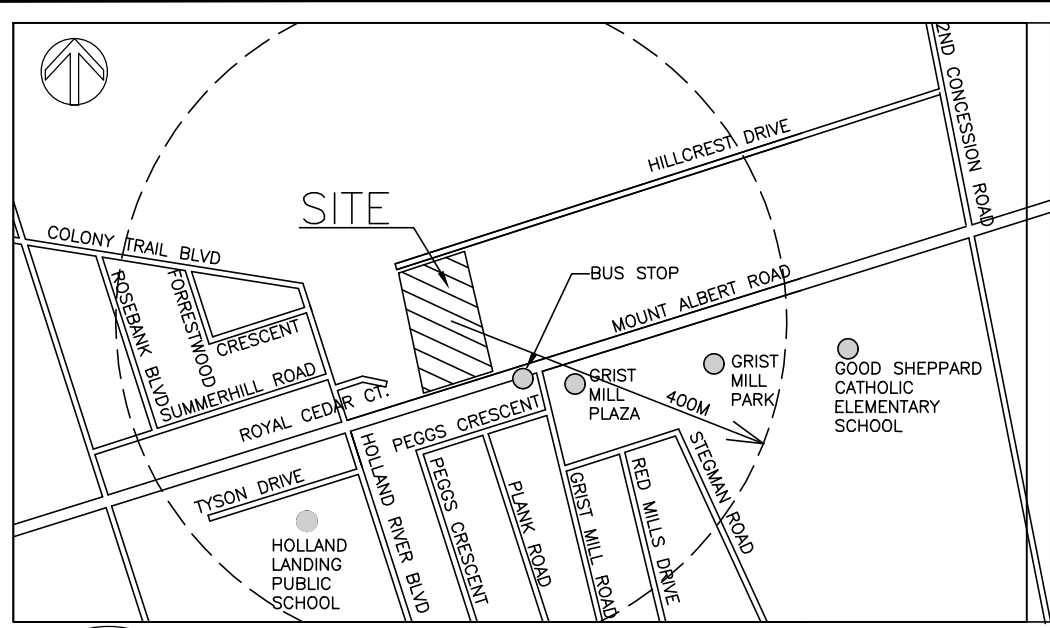




PROPOSED RESIDENTIAL DEVELOPMENT - 464 MOUNT ALBERT ROAD



2 KEY PLAN
A001 SCALE: 1:10,000



1 PROPOSED SITE PLAN
A001 SCALE: 1:400

LOT AREA	SQ.FT	SQ.M
SOUTH AREA - TOWNHOUSE (WEST/EAST BLOCK & COMMON AREA)	38179.27	3,546.97
FUTURE DEVELOPMENT	153752.29	14,284.06
BUFFER AREA	3496.72	788.37
PARKLAND	4327.70	402.01
0.3M RESERVE AREA	298.05	27.69
ROAD WIDENING AREA	10439.74	969.86
TOTAL	215495.27	20,019.98
DENSITY		
TOWNHOUSE LOT AREA (SOUTH AREA)	38179.27	3,546.97
TOTAL RESIDENTIAL LOT AREA	38179.27	3,546.97
		(6.3% HA)
TOTAL UNITS	17	
NET	47.22 UNITS/HECTARE	

SOUTH AREA (WEST BLOCK) - LOT STATISTICS

TH#1	TH#2	TH#3	TH#4	TH#5	TH#6	TH#7
LOT AREA	2,332 SF	1,650 SF	1,612 SF	1,575 SF	1,539 SF	1,500 SF
LOT FRONTAGE	25'-5"	18'-1/2"	18'-3/2"	18'-1/2"	18'-3/2"	18'-1/2"
COVERAGE	46.96%	52.73%	53.97%	55.24%	56.53%	58.00%
GFA	3,135 SF	2,435 SF	2,435 SF	2,435 SF	2,435 SF	2,435 SF
FRONT YARD SETBACK	14'-9"	14'-9"	14'-9"	14'-9"	14'-9"	14'-9"
REAR YARD SETBACK	22'-5 1/2"	19'-9"	19'-9"	19'-9"	19'-9"	19'-9"
FRONT YARD AREA	195 SF	100 SF	100 SF	100 SF	100 SF	100 SF
REAR YARD AREA	612 SF	477 SF	439 SF	402 SF	364 SF	327 SF
HEIGHT	40'-9"	40'-9"	40'-9"	40'-9"	40'-9"	40'-9"
DECK AREA (MAIN LEVEL)	160 SF	144 SF	144 SF	144 SF	144 SF	144 SF
BALCONY AREA (UPPER LEVEL)	28 SF	28 SF	28 SF	28 SF	28 SF	28 SF

TH#8	TH#9	TH#10	TH#11	TH#12	TH#13	TH#14 TO TH#16
LOT AREA	1,495 SF	1,612 SF	1,428 SF	1,364 SF	1,750 SF	1,346 SF
LOT FRONTAGE	18'-1/2"	18'-1/2"	18'-1/2"	18'-1/2"	23'-5 1/2"	18'-1/2"
COVERAGE	58.53%	61.27%	64.15%	51.37%	51.31%	65.00%
GFA	2,495 SF	2,495 SF	2,495 SF	2,495 SF	2,533 SF	2,495 SF
FRONT YARD SETBACK	4'-11"	4'-11"	4'-11"	4'-11"	4'-11"	4'-11"
REAR YARD SETBACK	19'-8"	19'-8"	19'-8"	19'-8"	19'-8"	19'-8"
FRONT YARD AREA	93 SF	93 SF	93 SF	93 SF	93 SF	93 SF
REAR YARD AREA	586 SF	586 SF	586 SF	586 SF	586 SF	586 SF
HEIGHT	39'-10 1/2"	39'-10 1/2"	39'-10 1/2"	39'-10 1/2"	39'-10 1/2"	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF	123 SF	123 SF	123 SF	123 SF	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF	28 SF	28 SF	28 SF	28 SF	28 SF

TH#17	
LOT AREA	1,346 SF
LOT FRONTAGE	18'-1/2"
COVERAGE	68.65%
GFA	2,575 SF
FRONT YARD SETBACK	4'-11"
REAR YARD SETBACK	19'-8"
FRONT YARD AREA	93 SF
REAR YARD AREA	586 SF
HEIGHT	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF

TH#18	
LOT AREA	1,346 SF
LOT FRONTAGE	18'-1/2"
COVERAGE	68.65%
GFA	2,575 SF
FRONT YARD SETBACK	4'-11"
REAR YARD SETBACK	19'-8"
FRONT YARD AREA	93 SF
REAR YARD AREA	586 SF
HEIGHT	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF

TH#19	
LOT AREA	1,346 SF
LOT FRONTAGE	18'-1/2"
COVERAGE	68.65%
GFA	2,575 SF
FRONT YARD SETBACK	4'-11"
REAR YARD SETBACK	19'-8"
FRONT YARD AREA	93 SF
REAR YARD AREA	586 SF
HEIGHT	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF

TH#20	
LOT AREA	1,346 SF
LOT FRONTAGE	18'-1/2"
COVERAGE	68.65%
GFA	2,575 SF
FRONT YARD SETBACK	4'-11"
REAR YARD SETBACK	19'-8"
FRONT YARD AREA	93 SF
REAR YARD AREA	586 SF
HEIGHT	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF

TH#21	
LOT AREA	1,346 SF
LOT FRONTAGE	18'-1/2"
COVERAGE	68.65%
GFA	2,575 SF
FRONT YARD SETBACK	4'-11"
REAR YARD SETBACK	19'-8"
FRONT YARD AREA	93 SF
REAR YARD AREA	586 SF
HEIGHT	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF

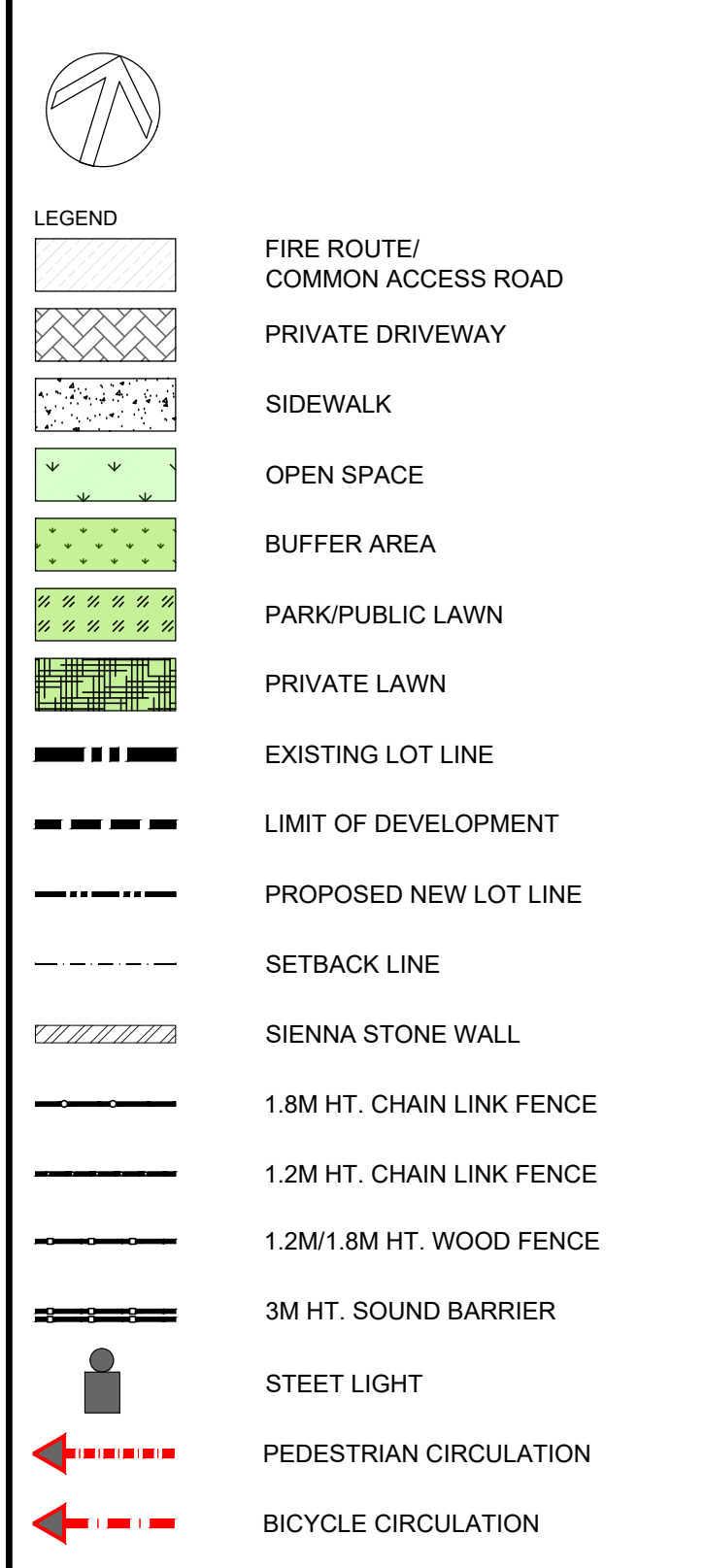
TH#22	
LOT AREA	1,346 SF
LOT FRONTAGE	18'-1/2"
COVERAGE	68.65%
GFA	2,575 SF
FRONT YARD SETBACK	4'-11"
REAR YARD SETBACK	19'-8"
FRONT YARD AREA	93 SF
REAR YARD AREA	586 SF
HEIGHT	39'-10 1/2"
DECK AREA (MAIN LEVEL)	123 SF
BALCONY AREA (UPPER LEVEL)	28 SF

3 SITE STATISTICS

A001

No.	Description	Date
8	REVISED FOR ZBA, SPA & DPS	06DEC2024
7	REVISED FOR ZBA, SPA & DPS	11OCT2024
6	REVISED FOR ZBA, SPA & DPS	05MAR2024
5	REVISED FOR ZBA, SPA & DPS	23FEB2024
4	REVISED FOR ZBA, SPA & DPS	01SEP2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.



NOTE: PROPOSED 1.8M HT. BLACK VINYL CHAIN LINK FENCES TO BE INSTALLED AROUND THE CENTRAL OPEN SPACE ON TOWN PROPERTY. ALL RETAINING WALLS AND PRIVACY/ACOUSTIC FENCES ARE TO BE INSTALLED ENTIRELY ON PRIVATE PROPERTY. ALL FENCES TO MEET THE REQUIREMENTS OF THE TOWNS FENCE BYLAW.



PROPOSED RESIDENTIAL DEVELOPMENT

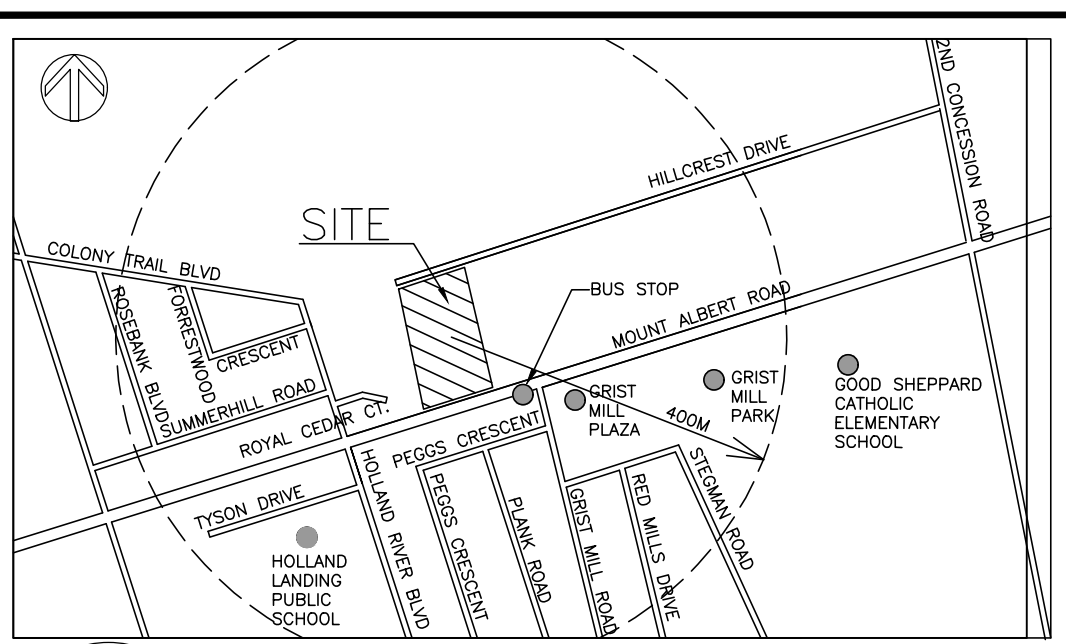
464 MOUNT ALBERT RD, EAST GWILLIMBURY, ONT.

Drawn by: HS/CY
Date: 16AUG2016
Sheet Title: PROPOSED SITE PLAN & SITE STATISTICS

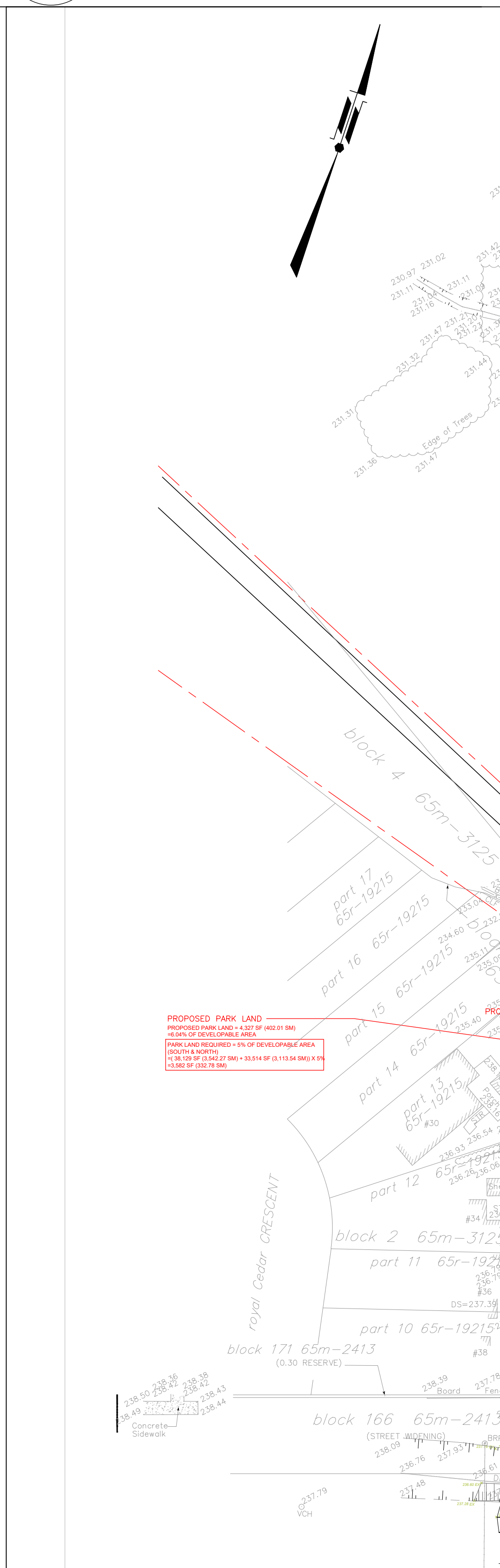
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Project No: 16210
Sheet No: A001

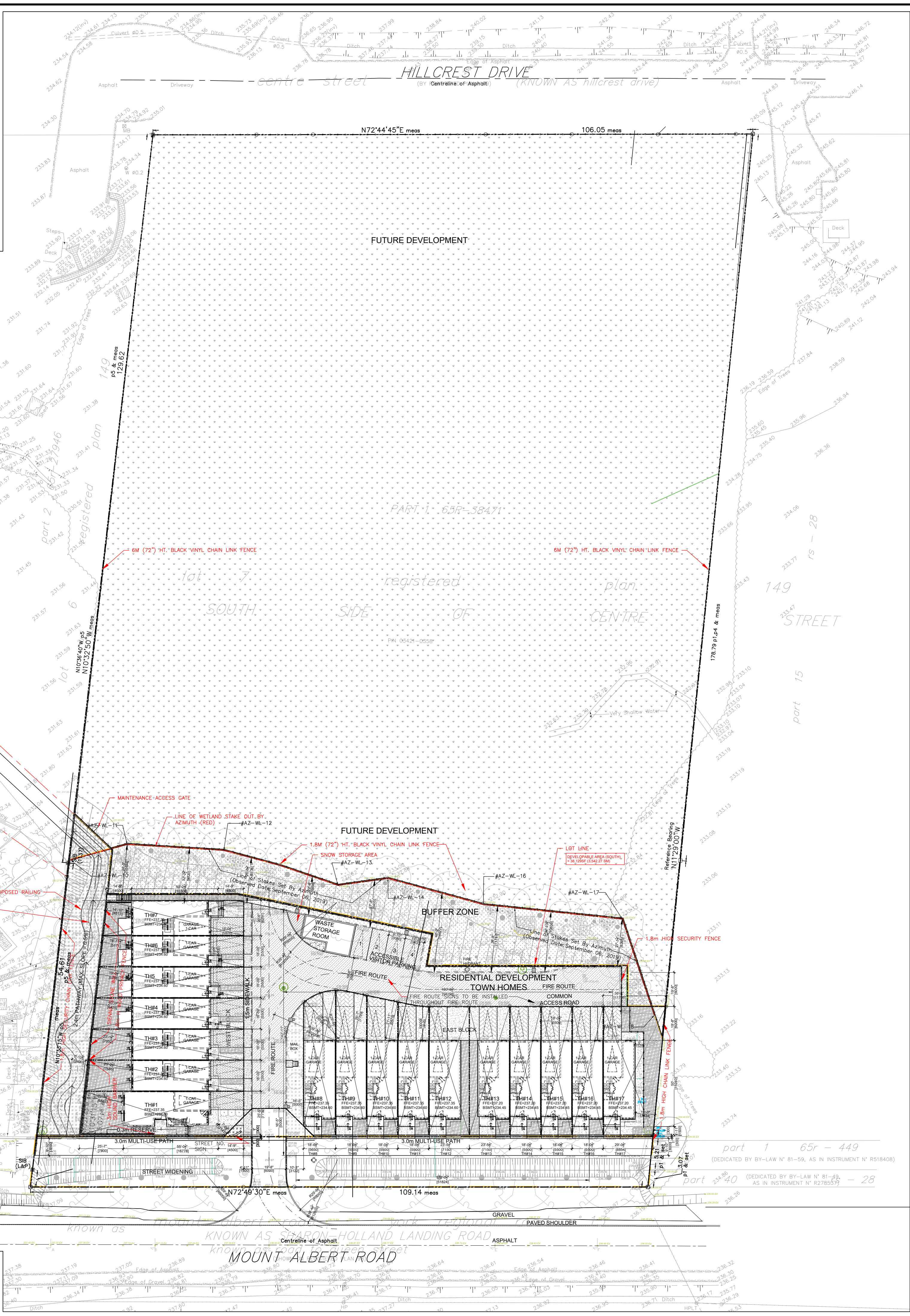
26 Trish Drive
Richmond Hill
ON L4E 5C5
T 905.773.8304
F 905.773.2716
heman@hemanshih.ca
www.hemanshih.ca



2 KEY PLAN
A001 SCALE: 1:10,000



1 PROPOSED SITE PLAN
A001 SCALE: 1:400



LOT AREA	SQ. FT.	SQ. M.
SOUTH AREA - TOWNHOUSE	38179.27	3,546.97
(WEST/EAST BLOCK & COMMON AREA)		
FUTURE DEVELOPMENT	153752.29	14,284.06
BUFFER AREA	3496.72	788.37
PARKLAND	4327.70	402.01
0.3M RESERVE AREA	298.05	27.69
ROAD WIDENING AREA	10439.74	969.86
TOTAL	215495.17	20,019.98
DENSITY		
TOWNHOUSE LOT AREA (SOUTH AREA)	38179.27	3,546.97
TOTAL RESIDENTIAL LOT AREA	38179.27	3,546.97
(6.3% HA)		
TOTAL UNITS	17	
NET	47.22 UNITS/HECTARE	

3 SITE STATISTICS
A001

SOUTH AREA (WEST BLOCK) - LOT STATISTICS		SOUTH AREA (EAST BLOCK) - LOT STATISTICS			
TH#1	TH#8	TH#9	TH#10		
LOT AREA	2,332 SF	139.54 SM	LOT AREA	1,502 SF	139.54 SM
LOT FRONTAGE	25'-5"	7.75 M	LOT FRONTAGE	18'-1/2"	5.65M
COVERAGE	46.96%		COVERAGE	59.92%	
GFA	3,135 SF	291.25 SM	GFA	2,518 SF	233.93 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	0"	0.0 M
REAR YARD SETBACK	22'-5 1/2"	6.84 M	REAR YARD SETBACK	28'-9"	8.76 M
EXTERIOR SIDE YARD SETBACK	4'-11"	1.50 M	SIDE YARD SETBACK	0.0"	0.0 M
FRONT YARD AREA	195 SF	18.12 SM	FRONT YARD AREA	112 SF	10.41 SM
REAR YARD AREA	612 SF	56.86 SM	HEIGHT	39'-10 1/2"	12.15 SM
SIDE YARD AREA	251 SF	23.32 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
HEIGHT	40'-9"	12.42 M	BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM
DECK AREA (MAIN LEVEL)	160 SF	14.86 SM			
BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM			
TH#2	TH#3	TH#4	TH#5		
LOT AREA	1,650 SF	153.29 SM	LOT AREA	1,612 SF	139.54 SM
LOT FRONTAGE	18'-1/2"	5.5M	LOT FRONTAGE	18'-3/8"	6.35M
COVERAGE	52.73%		COVERAGE	53.97%	
GFA	2,435 SF	226.22 SM	GFA	2,435 SF	226.22 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	25'-2 1/2"	7.69 M	REAR YARD SETBACK	23'-1 1/2"	7.05 M
FRONT YARD AREA	100 SF	9.29 SM	FRONT YARD AREA	100 SF	9.29 SM
REAR YARD AREA	477 SF	44.31 SM	REAR YARD AREA	439 SF	40.78 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM
TH#6	TH#7	TH#8	TH#9		
LOT AREA	1,575 SF	146.32 SM	LOT AREA	1,539 SF	139.35 SM
LOT FRONTAGE	18'-1/2"	6.35M	LOT FRONTAGE	18'-3/2"	6.35M
COVERAGE	55.24%		COVERAGE	56.53%	
GFA	2,435 SF	226.22 SM	GFA	2,435 SF	226.22 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	21'-1"	6.43 M	REAR YARD SETBACK	19'-1/2"	5.80 M
FRONT YARD AREA	100 SF	9.29 SM	FRONT YARD AREA	100 SF	9.29 SM
REAR YARD AREA	402 SF	37.35 SM	REAR YARD AREA	364 SF	33.82 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM
TH#10	TH#11	TH#12	TH#13		
LOT AREA	1,428 SF	132.67 SM	LOT AREA	1,364 SF	125.72 SM
LOT FRONTAGE	18'-1/2"	5.50M	LOT FRONTAGE	18'-1/2"	5.50M
COVERAGE	61.27%		COVERAGE	64.15%	
GFA	2,495 SF	231.79 SM	GFA	2,495 SF	231.79 SM
FRONT YARD SETBACK	4'-11"	1.50 M	FRONT YARD SETBACK	4'-11"	1.5 M
REAR YARD SETBACK	23'-7"	7.80 M	REAR YARD SETBACK	19'-8"	6.0 M
FRONT YARD AREA	93 SF	8.64 SM	FRONT YARD AREA	93 SF	8.64 SM
HEIGHT	39'-10 1/2"	12.15 M	HEIGHT	39'-10 1/2"	12.15 M
DECK AREA (MAIN LEVEL)	123 SF	11.43 SM	DECK AREA (MAIN LEVEL)	123 SF	11.43 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM
TH#14	TH#15	TH#16	TH#17		
LOT AREA	1,750 SF	162.58 SM	LOT AREA	1,750 SF	162.58 SM
LOT FRONTAGE	23'-5 1/2"	7.16M	LOT FRONTAGE	23'-5 1/2"	7.16M
COVERAGE	51.37%		COVERAGE	51.37%	
GFA	2,543 SF	236.25 SM	GFA	2,543 SF	236.25 SM
FRONT YARD SETBACK	4'-11"	1.5 M	FRONT YARD SETBACK	4'-11"	1.5 M
REAR YARD SETBACK	19'-8"	6.0 M	REAR YARD SETBACK	19'-8"	6.0 M
SIDE YARD SETBACK	4'-11"	1.50 M	SIDE YARD SETBACK	4'-11"	1.50 M
FRONT YARD AREA	173	16.07	FRONT YARD AREA	173	16.07
HEIGHT	39'-10 1/2"	12.15 M	HEIGHT	39'-10 1/2"	12.15 M
DECK AREA (MAIN LEVEL)	123 SF	11.43 SM	DECK AREA (MAIN LEVEL)	123 SF	11.43 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM
TH#18	TH#19	TH#20	TH#21		
LOT AREA	1,500 SF	139.35 SM	LOT AREA	1,500 SF	139.35 SM
LOT FRONTAGE	18'-1/2"	6.35M	LOT FRONTAGE	18'-1/2"	6.35M
COVERAGE	58.00%		COVERAGE	58.00%	
GFA	2,435 SF	226.22 SM	GFA	2,435 SF	226.22 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	16'-11 1/2"	5.17 M	REAR YARD SETBACK	16'-11 1/2"	5.17 M
FRONT YARD AREA	103 SF	9.57 SM	FRONT YARD AREA	103 SF	9.57 SM
REAR YARD AREA	327 SF	30.38 SM	REAR YARD AREA	326 SF	30.29 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM
TH#22	TH#23	TH#24	TH#25		
LOT AREA	1,653 SF	153.57 SM	LOT AREA	1,653 SF	153.57 SM
LOT FRONTAGE	20'-6"	6.25 M	LOT FRONTAGE	20'-6"	6.25 M
COVERAGE	59.89%		COVERAGE	59.89%	
GFA	2,785 SF	258.73 SM	GFA	2,785 SF	258.73 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	14'-10"	4.52 M	REAR YARD SETBACK	14'-10"	4.52 M
SIDE YARD SETBACK	0.0"	0.0 M	SIDE YARD SETBACK	0.0"	0.0 M
FRONT YARD AREA	103 SF	9.57 SM	FRONT YARD AREA	103 SF	9.57 SM
REAR YARD AREA	326 SF	30.29 SM	REAR YARD AREA	326 SF	30.29 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM

SOUTH AREA (WEST BLOCK) - LOT STATISTICS		SOUTH AREA (EAST BLOCK) - LOT STATISTICS			
TH#1	TH#8	TH#9	TH#10		
LOT AREA	2,332 SF	139.54 SM	LOT AREA	1,502 SF	139.54 SM
LOT FRONTAGE	25'-5"	7.75 M	LOT FRONTAGE	18'-1/2"	5.65M
COVERAGE	46.96%		COVERAGE	59.92%	
GFA	3,135 SF	291.25 SM	GFA	2,518 SF	233.93 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	0"	0.0 M
REAR YARD SETBACK	22'-5 1/2"	6.84 M	REAR YARD SETBACK	28'-9"	8.76 M
EXTERIOR SIDE YARD SETBACK	4'-11"	1.50 M	SIDE YARD SETBACK	0.0"	0.0 M
FRONT YARD AREA	195 SF	18.12 SM	FRONT YARD AREA	112 SF	10.41 SM
REAR YARD AREA	612 SF	56.86 SM	HEIGHT	39'-10 1/2"	12.15 SM
SIDE YARD AREA	251 SF	23.32 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
HEIGHT	40'-9"	12.42 M	BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM
DECK AREA (MAIN LEVEL)	160 SF	14.86 SM			
BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM			
TH#2	TH#3	TH#4	TH#5		
LOT AREA	1,650 SF	153.29 SM	LOT AREA	1,612 SF	139.54 SM
LOT FRONTAGE	18'-1/2"	5.5M	LOT FRONTAGE	18'-3/8"	6.35M
COVERAGE	52.73%		COVERAGE	53.97%	
GFA	2,435 SF	226.22 SM	GFA	2,435 SF	226.22 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	25'-2 1/2"	7.69 M	REAR YARD SETBACK	23'-1 1/2"	7.05 M
FRONT YARD AREA	100 SF	9.29 SM	FRONT YARD AREA	100 SF	9.29 SM
REAR YARD AREA	477 SF	44.31 SM	REAR YARD AREA	439 SF	40.78 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM
TH#6	TH#7	TH#8	TH#9		
LOT AREA	1,575 SF	146.32 SM	LOT AREA	1,539 SF	139.35 SM
LOT FRONTAGE	18'-1/2"	6.35M	LOT FRONTAGE	18'-3/2"	6.35M
COVERAGE	55.24%		COVERAGE	56.53%	
GFA	2,435 SF	226.22 SM	GFA	2,435 SF	226.22 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	21'-1"	6.43 M	REAR YARD SETBACK	19'-1/2"	5.80 M
FRONT YARD AREA	100 SF	9.29 SM	FRONT YARD AREA	100 SF	9.29 SM
REAR YARD AREA	402 SF	37.35 SM	REAR YARD AREA	364 SF	33.82 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM
TH#10	TH#11	TH#12	TH#13		
LOT AREA	1,428 SF	132.67 SM	LOT AREA	1,364 SF	125.72 SM
LOT FRONTAGE	18'-1/2"	5.50M	LOT FRONTAGE	18'-1/2"	5.50M
COVERAGE	61.27%		COVERAGE	64.15%	
GFA	2,495 SF	231.79 SM	GFA	2,495 SF	231.79 SM
FRONT YARD SETBACK	4'-11"	1.50 M	FRONT YARD SETBACK	4'-11"	1.5 M
REAR YARD SETBACK	23'-7"	7.80 M	REAR YARD SETBACK	19'-8"	6.0 M
FRONT YARD AREA	93 SF	8.64 SM	FRONT YARD AREA	93 SF	8.64 SM
HEIGHT	39'-10 1/2"	12.15 M	HEIGHT	39'-10 1/2"	12.15 M
DECK AREA (MAIN LEVEL)	123 SF	11.43 SM	DECK AREA (MAIN LEVEL)	123 SF	11.43 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM
TH#14	TH#15	TH#16	TH#17		
LOT AREA	1,750 SF	162.58 SM	LOT AREA	1,750 SF	162.58 SM
LOT FRONTAGE	23'-5 1/2"	7.16M	LOT FRONTAGE	23'-5 1/2"	7.16M
COVERAGE	51.37%		COVERAGE	51.37%	
GFA	2,543 SF	236.25 SM	GFA	2,543 SF	236.25 SM
FRONT YARD SETBACK	4'-11"	1.5 M	FRONT YARD SETBACK	4'-11"	1.5 M
REAR YARD SETBACK	19'-8"	6.0 M	REAR YARD SETBACK	19'-8"	6.0 M
SIDE YARD SETBACK	4'-11"	1.50 M	SIDE YARD SETBACK	4'-11"	1.50 M
FRONT YARD AREA	173	16.07	FRONT YARD AREA	173	16.07
HEIGHT	39'-10 1/2"	12.15 M	HEIGHT	39'-10 1/2"	12.15 M
DECK AREA (MAIN LEVEL)	123 SF	11.43 SM	DECK AREA (MAIN LEVEL)	123 SF	11.43 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.65 SM
TH#18	TH#19	TH#20	TH#21		
LOT AREA	1,500 SF	139.35 SM	LOT AREA	1,500 SF	139.35 SM
LOT FRONTAGE	18'-1/2"	6.35M	LOT FRONTAGE	18'-1/2"	6.35M
COVERAGE	58.00%		COVERAGE	58.00%	
GFA	2,435 SF	226.22 SM	GFA	2,435 SF	226.22 SM
FRONT YARD SETBACK	14'-9"	4.50 M	FRONT YARD SETBACK	14'-9"	4.50 M
REAR YARD SETBACK	16'-11 1/2"	5.17 M	REAR YARD SETBACK	16'-11 1/2"	5.17 M
FRONT YARD AREA	103 SF	9.57 SM	FRONT YARD AREA	103 SF	9.57 SM
REAR YARD AREA	327 SF	30.38 SM	REAR YARD AREA	326 SF	30.29 SM
HEIGHT	40'-9"	12.42 M	HEIGHT	40'-9"	12.42 M
DECK AREA (MAIN LEVEL)	144 SF	13.38 SM	DECK AREA (MAIN LEVEL)	144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM	BALCONY AREA (UPPER LEVEL)	28 SF	2.60 SM
TH#22	TH#23	TH#24	TH#25		
LOT AREA	1,653 SF	153.57 SM	LOT AREA	1,653 SF	153.57 SM
LOT FRONTAGE	20'-6"	6.25 M	LOT FRONTAGE	20'-6"	6.25 M
COVERAGE	59.89%		COVERAGE	59.89%	
GFA	2,785 SF	258.73 SM	GFA	2,785 SF	258.73 SM

8	REVISED FOR ZBA, SPA & DPS	06DEC2024
7	REVISED FOR ZBA, SPA & DPS	11OCT2024
6	REVISED FOR ZBA, SPA & DPS	05MAR2024
5	REVISED FOR ZBA, SPA & DPS	23FEB2024
4	REVISED FOR ZBA, SPA & DPS	01SEP2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018
No.	Description	Date

REVISIONS:

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

LEGEND	
	FIRE ROUTE/ COMMON ACCESS ROAD
	PRIVATE DRIVEWAY
	SIDEWALK
	OPEN SPACE
	BUFFER AREA
	PARK/PUBLIC LAWN
	PRIVATE LAWN
	EXISTING LOT LINE
	LIMIT OF DEVELOPMENT
	PROPOSED NEW LOT LINE
	SETBACK LINE
	SIENNA STONE WALL
	1.8M HT. CHAIN LINK FENCE
	1.2M HT. CHAIN LINK FENCE
	1.2M/1.8M HT. WOOD FENCE
	3M HT. SOUND BARRIER
	STREET LIGHT

NOTE:
 PROPOSED 1.8M HT. BLACK VINYL CHAIN LINK FENCES TO BE INSTALLED AROUND THE CENTRAL OPEN SPACE ON TOWN PROPERTY.
 ALL RETAINING WALLS AND PRIVACY/ACOUSTIC FENCES ARE TO BE INSTALLED ENTIRELY ON PRIVATE PROPERTY.
 ALL FENCES TO MEET THE REQUIREMENTS OF THE TOWNS FENCE BY-LAW.



Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by:
 HS/CY
 Date:
 16AUG2016

Checked by:
 HS
 Scale:
 1 : 200

Sheet Title:
**PARTIAL SITE PLAN
 SOUTH AREA (TOWNHOUSE)**

Project No:
 16210

Sheet No:
A101

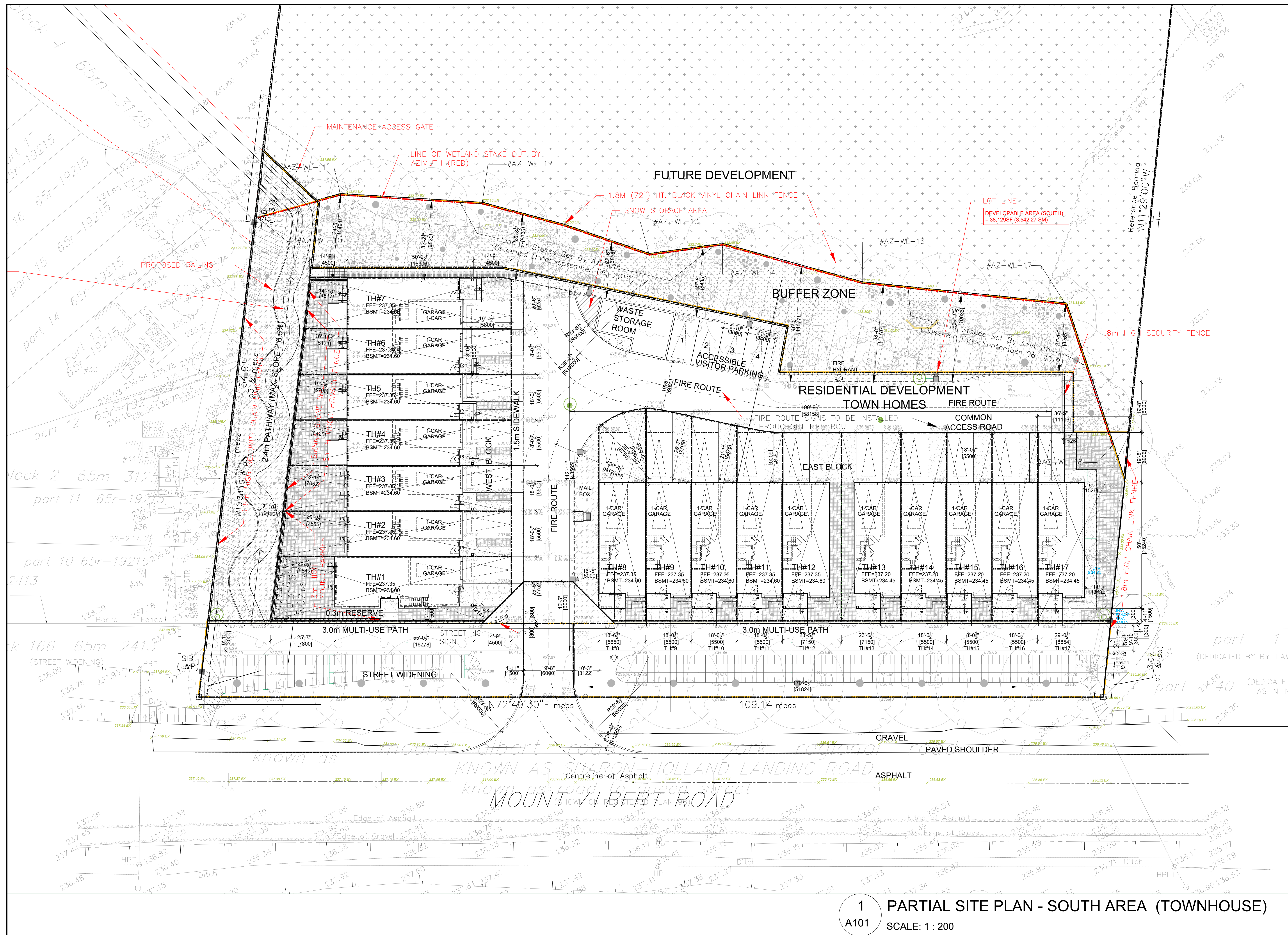
26 Trish Drive
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**HEMAN SHIH
 ARCHITECT INC**



1 PARTIAL SITE PLAN - SOUTH AREA (TOWNHOUSE)
 A101 SCALE: 1 : 200

PAPER SIZE : ARCH expand D (36.00 x 24.00 Inches)



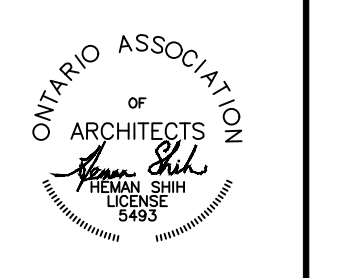
8	REVISED FOR ZBA, SPA & DPS	06DEC2024
7	REVISED FOR ZBA, SPA & DPS	11OCT2024
6	REVISED FOR ZBA, SPA & DPS	05MAR2024
5	REVISED FOR ZBA, SPA & DPS	23FEB2024
4	REVISED FOR ZBA, SPA & DPS	01SEP2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018
No.	Description	Date

REVISIONS:

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

LEGEND	
	FIRE ROUTE/ COMMON ACCESS ROAD
	PRIVATE DRIVEWAY
	SIDEWALK
	OPEN SPACE
	BUFFER AREA
	PARK/PUBLIC LAWN
	PRIVATE LAWN
	EXISTING LOT LINE
	LIMIT OF DEVELOPMENT
	PROPOSED NEW LOT LINE
	SETBACK LINE
	SIENNA STONE WALL
	1.8M HT. CHAIN LINK FENCE
	1.2M HT. CHAIN LINK FENCE
	1.2M/1.8M HT. WOOD FENCE
	3M HT. SOUND BARRIER
	STREET LIGHT

NOTE:
 PROPOSED 1.8M HT. BLACK VINYL CHAIN LINK FENCES TO BE INSTALLED AROUND THE CENTRAL OPEN SPACE ON TOWN PROPERTY. ALL RETAINING WALLS AND PRIVACY/ACOUSTIC FENCES ARE TO BE INSTALLED ENTIRELY ON PRIVATE PROPERTY. ALL FENCES TO MEET THE REQUIREMENTS OF THE TOWNS FENCE BY-LAW.



Project:
PROPOSED RESIDENTIAL DEVELOPMENT

464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by:
 HS/CY

Checked by:
 HS

Date:
 16AUG2016

Scale:
 1 : 200

Sheet Title:
**PARTIAL SITE PLAN
 SOUTH AREA (TOWNHOUSE)**

Project No:
 16210

Sheet No:
A101

26 Trish Drive
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HEMAN SHIH ARCHITECT INC

1 PARTIAL SITE PLAN - SOUTH AREA (TOWNHOUSE)
 A101 SCALE: 1 : 200

PAPER SIZE : ARCH expand D
 (36.00 x 24.00 Inches)

OVERALL SITE		SO. FT	SO. M
LOT AREA - TOWNHOUSE		38179.27	3,546.97
SOUTH AREA - TOWNHOUSE		38179.27	3,546.97
(WEST/EAST BLOCK & COMMON AREA)			(0.36 HA)
FUTURE DEVELOPMENT		153752.29	14,284.06
BUFFER AREA		8496.72	789.37
PARKLAND		4327.20	402.01
0.3M RESERVE AREA		298.05	27.69
ROAD WIDENING AREA		10493.74	969.88
TOTAL		215493.27	20,019.98

DENSITY		38179.27	3,546.97
TOWNHOUSE LOT AREA (SOUTH AREA)		38179.27	3,546.97
TOTAL RESIDENTIAL LOT AREA			
NET		47.22 UNITS/HECTARE	17

SOUTH AREA - TOWNHOUSE - WEST BLOCK

TH#1		1,650 SF	153.29 SM
LOT AREA		1,650 SF	153.29 SM
LOT FRONTAGE		18'-1/2"	5.5M
COVERAGE		52.73%	
GFA		2,435 SF	226.22 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		25'-2 1/2"	7.69 M
EXTERIOR SIDE YARD SETBACK		4'-11"	1.50 M
FRONT YARD AREA		195 SF	18.12 SM
REAR YARD AREA		612 SF	56.86 SM
SIDE YARD AREA		251 SF	23.32 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		160 SF	14.86 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.6 SM

TH#4		1,575 SF	146.32 SM
LOT AREA		1,575 SF	146.32 SM
LOT FRONTAGE		18'-1/2"	6.35M
COVERAGE		55.24%	
GFA		2,435 SF	226.22 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		21'-1"	6.43 M
FRONT YARD AREA		100 SF	9.29 SM
REAR YARD AREA		402 SF	37.35 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.6 SM

SOUTH AREA - TOWNHOUSE - EAST BLOCKS

TH#8		1,502 SF	139.54 SM
LOT AREA		1,502 SF	139.54 SM
LOT FRONTAGE		18'-6 1/2"	5.65M
COVERAGE		59.92%	
GFA		2,518 SF	233.93 SM
FRONT YARD SETBACK		0"	0.0 M
REAR YARD SETBACK		28'-9"	8.76 M
SIDE YARD SETBACK		0.0"	0.0 M
FRONT YARD AREA		112 SF	10.41 SM
REAR YARD AREA		39'-10 1/2"	12.15 M
HEIGHT		144 SF	13.38 SM
DECK AREA (MAIN LEVEL)		28 SF	2.6 SM

TH#12		1,750 SF	162.58 SM
LOT AREA		1,750 SF	162.58 SM
LOT FRONTAGE		23'-5 1/2"	7.16M
COVERAGE		51.37%	
GFA		2,543 SF	236.25 SM
FRONT YARD SETBACK		4'-11"	1.5 M
REAR YARD SETBACK		19'-8"	6.0 M
SIDE YARD SETBACK		4'-11"	1.50 M
FRONT YARD AREA		173	16.07
REAR YARD AREA		39'-10 1/2"	12.15 M
HEIGHT		123 SF	11.43 SM
DECK AREA (MAIN LEVEL)		28 SF	2.6 SM

TH#2		1,650 SF	153.29 SM
LOT AREA		1,650 SF	153.29 SM
LOT FRONTAGE		18'-1/2"	5.5M
COVERAGE		52.73%	
GFA		2,435 SF	226.22 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		25'-2 1/2"	7.69 M
FRONT YARD AREA		100 SF	9.29 SM
REAR YARD AREA		477 SF	44.31 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.60 SM

TH#5		1,539 SF	139.35 SM
LOT AREA		1,539 SF	139.35 SM
LOT FRONTAGE		18'-1/2"	6.35M
COVERAGE		56.53%	
GFA		2,435 SF	226.22 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		19'-1/2"	5.80 M
FRONT YARD AREA		100 SF	9.29 SM
REAR YARD AREA		364 SF	33.82 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.60 SM

TH#9		1,495 SF	138.89 SM
LOT AREA		1,495 SF	138.89 SM
LOT FRONTAGE		18'-1/2"	5.50M
COVERAGE		58.53%	
GFA		2,495 SF	231.79 SM
FRONT YARD SETBACK		4'-11"	1.50 M
REAR YARD SETBACK		25'-7"	7.80 M
FRONT YARD AREA		93 SF	8.64 SM
REAR YARD AREA		39'-10 1/2"	12.15 M
HEIGHT		123 SF	11.43 SM
DECK AREA (MAIN LEVEL)		28 SF	2.6 SM

TH#3		1,612 SF	139.54 SM
LOT AREA		1,612 SF	139.54 SM
LOT FRONTAGE		18'-1/2"	6.35M
COVERAGE		53.97%	
GFA		2,435 SF	226.22 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		23'-1 1/2"	7.05 M
FRONT YARD AREA		100 SF	9.29 SM
REAR YARD AREA		439 SF	40.78 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.6 SM

TH#6		1,500 SF	139.35 SM
LOT AREA		1,500 SF	139.35 SM
LOT FRONTAGE		18'-1/2"	6.35M
COVERAGE		58.00%	
GFA		2,435 SF	226.22 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		16'-11 1/2"	5.17 M
FRONT YARD AREA		103 SF	9.57 SM
REAR YARD AREA		327 SF	30.38 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.60 SM

TH#10		1,428 SF	132.67 SM
LOT AREA		1,428 SF	132.67 SM
LOT FRONTAGE		18'-1/2"	5.50M
COVERAGE		61.27%	
GFA		2,495 SF	231.79 SM
FRONT YARD SETBACK		4'-11"	1.50 M
REAR YARD SETBACK		21'-1"	6.68 M
FRONT YARD AREA		93 SF	8.64 SM
REAR YARD AREA		39'-10 1/2"	12.15 M
HEIGHT		123 SF	11.43 SM
DECK AREA (MAIN LEVEL)		28 SF	2.6 SM

TH#7		1,653 SF	153.57 SM
LOT AREA		1,653 SF	153.57 SM
LOT FRONTAGE		20'-6"	6.25 M
COVERAGE		59.89%	
GFA		2,785 SF	258.73 SM
FRONT YARD SETBACK		14'-9"	4.50 M
REAR YARD SETBACK		14'-10"	4.52 M
SIDE YARD SETBACK		0.0"	0.0 M
FRONT YARD AREA		103 SF	9.57 SM
REAR YARD AREA		326 SF	30.29 SM
HEIGHT		40'-9"	12.42 M
DECK AREA (MAIN LEVEL)		144 SF	13.38 SM
BALCONY AREA (UPPER LEVEL)		28 SF	2.60 SM

TH#11		1,364 SF	126.72 SM
LOT AREA		1,364 SF	126.72 SM
LOT FRONTAGE		18'-1/2"	5.50M
COVERAGE		64.15%	
GFA		2,495 SF	231.79 SM
FRONT YARD SETBACK		4'-11"	1.5 M
REAR YARD SETBACK		19'-8"	6.0 M
FRONT YARD AREA		93 SF	8.64 SM
SIDE YARD SETBACK		39'-10 1/2"	12.15 M
HEIGHT		123 SF	11.43 SM
DECK AREA (MAIN LEVEL)		28 SF	2.6 SM

TH#14 TO TH#16		1,346 SF	125.05 SM
LOT AREA		1,346 SF	125.05 SM
LOT FRONTAGE		18'-1/2"	5.50M
COVERAGE		65.00%	
GFA		2,495 SF	231.79 SM
FRONT YARD SETBACK		4'-11"	1.5 M
REAR YARD SETBACK		19'-8"	6.0 M
FRONT YARD AREA		227 SF	21.09 SM
REAR YARD AREA		40'-1 1/2"	12.23 M
HEIGHT		123 SF	11.43 SM
DECK AREA (MAIN LEVEL)		28 SF	2.60 SM

TH#17		1,346 SF	125.05 SM
LOT AREA		1,346 SF	125.05 SM
LOT FRONTAGE		18'-1/2"	5.50M
COVERAGE		68.65%	
GFA		2,575 SF	239.23 SM
FRONT YARD SETBACK		4'-11"	1.5 M
REAR YARD SETBACK		19'-8"	6.0 M
SIDE YARD SETBACK		11'-1 1/2"	3.39 M
FRONT YARD AREA		227 SF	21.09 SM
REAR YARD AREA		40'-1 1/2"	12.23 M
HEIGHT		120 SF	11.15 SM
DECK AREA (MAIN LEVEL)		28 SF	2.60 SM

7	REVISED FOR ZBA, SPA & DPS	06DEC2024
6	REVISED FOR ZBA, SPA & DPS	11OCT2024
5	REVISED FOR ZBA, SPA & DPS	05MAR2024
4	REVISED FOR ZBA, SPA & DPS	23FEB2024
3	REVISED FOR ZBA, SPA & DPS	01SEP2023
2	REVISED FOR ZBA, SPA & DPS	05JUL2021
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018

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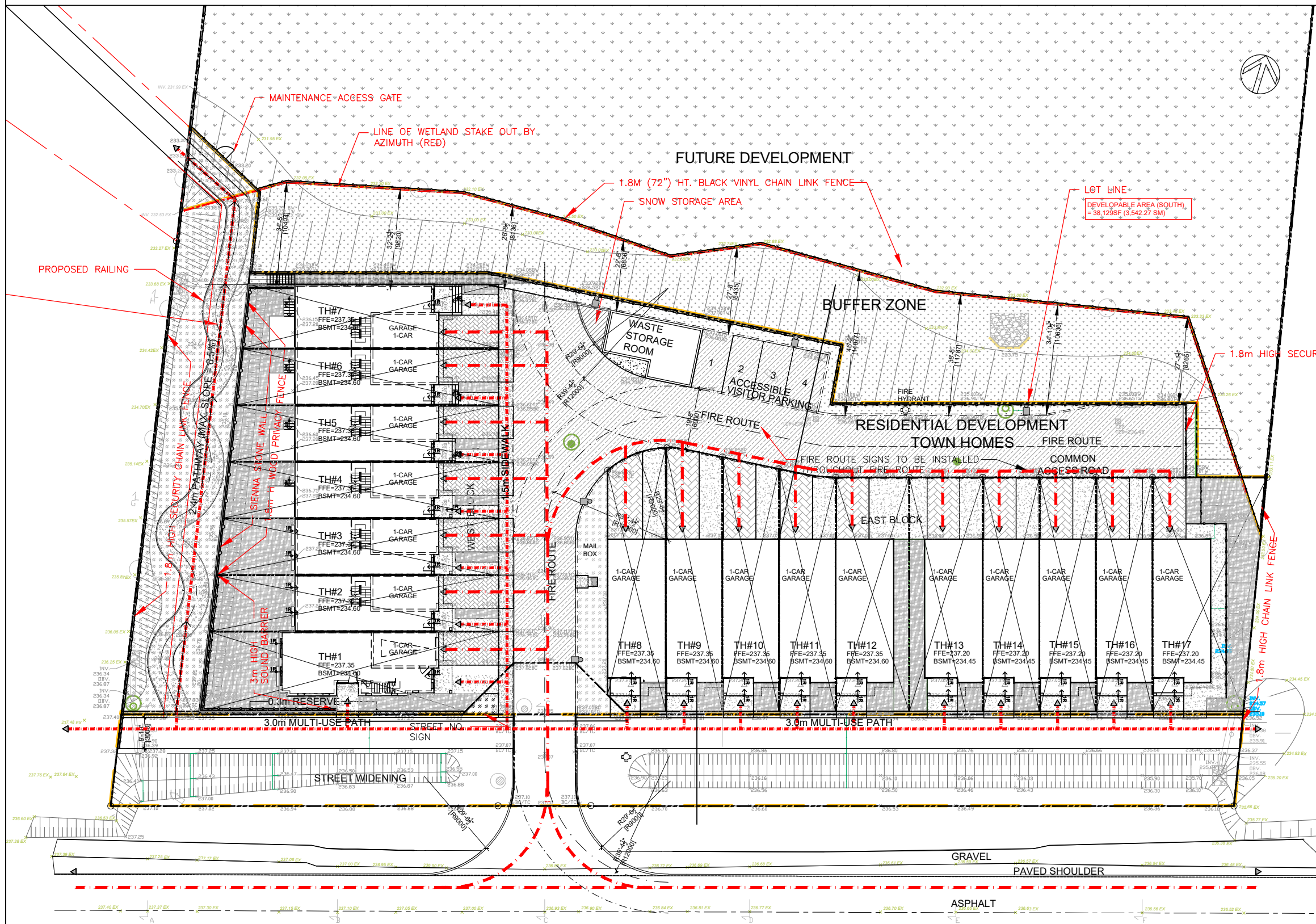


Project: PROPOSED RESIDENTIAL DEVELOPMENT
464 MOUNT ALBERT RD., EAST GWILLIMBURY, ONT.

Drawn by: HS/PC
Checked by: HS
Date: 23FEB2018
Scale: 3/128"=1'-0"

Sheet Title: SOUTH AREA ZONING INFORMATION
Project No: 16210
Sheet No: A105

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6	REVISED FOR ZBA, SPA & DPS	06DEC2024
5	REVISED FOR ZBA, SPA & DPS	11OCT2024
4	REVISED FOR ZBA, SPA & DPS	01SEP2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018

No.	Description	Date
REVISIONS:		

- LEGEND
- FIRE ROUTE/ COMMON ACCESS ROAD
 - PRIVATE DRIVEWAY
 - SIDEWALK
 - OPEN SPACE
 - BUFFER AREA
 - PARK/PUBLIC LAWN
 - PRIVATE LAWN
 - EXISTING LOT LINE
 - LIMIT OF DEVELOPMENT
 - PROPOSED NEW LOT LINE
 - SETBACK LINE
 - SIENNA STONE WALL
 - 1.8M HT. CHAIN LINK FENCE
 - 1.2M HT. CHAIN LINK FENCE
 - 1.2M/1.8M HT. WOOD FENCE
 - 3M HT. SOUND BARRIER
 - STREET LIGHT
 - PEDESTRIAN CIRCULATION
 - BICYCLE CIRCULATION

Project:
PROPOSED RESIDENTIAL DEVELOPMENT

464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by: HS/PC
 Date: 23FEB2018
 Checked by: HS
 Scale: 1/32"=1'-0"

Sheet Title:
PEDESTRIAN & BICYCLE CIRCULATION PLAN

Project No: 16210
 Sheet No: A106

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PAPER SIZE : ANSI B (11.00 x 17.00 Inches)

PLOT DATE : 11.07.2018

CAD DWG: D:\Dropbox (HemanShih)\HemanShih Dropbox\Patrick Cheung\Current\22393 464 Mt Albert Redesign\DWG\464MountAlbertRd_Townhouse_20241

NOTES ON WASTE MANAGEMENT PLAN (TOWNHOUSES)

WASTE AND RECYCLING BINS ARE PROVIDED IN THE WASTE STORAGE ROOM AT THE CENTRAL LOCATION OF THE TOWNHOUSE SITE FOR WASTE COLLECTION.

THE RESIDENTS WILL DISPOSE OF EACH WASTE/RECYCLING STREAM ON SITE INTO PROPERLY LABELED BINS.

THE WASTE AND RECYCLING MATERIALS WOULD BE PICKED UP WEEKLY. THE WASTE/RECYCLING AND ORGANICS HAULER WILL BE SERVING VIA FRONT END CONTAINERS AND THE HAULER WILL THEN PICK UP THE BINS ACCORDINGLY USING THEIR FRONT END SERVICE TRUCKS. PICK UP TIME WILL BE ARRANGED BY THE CONDO MANAGEMENT WITH THE WASTE COLLECTION COMPANY AVOIDING RUSH HOURS IN THE MORNING AND EVENING.

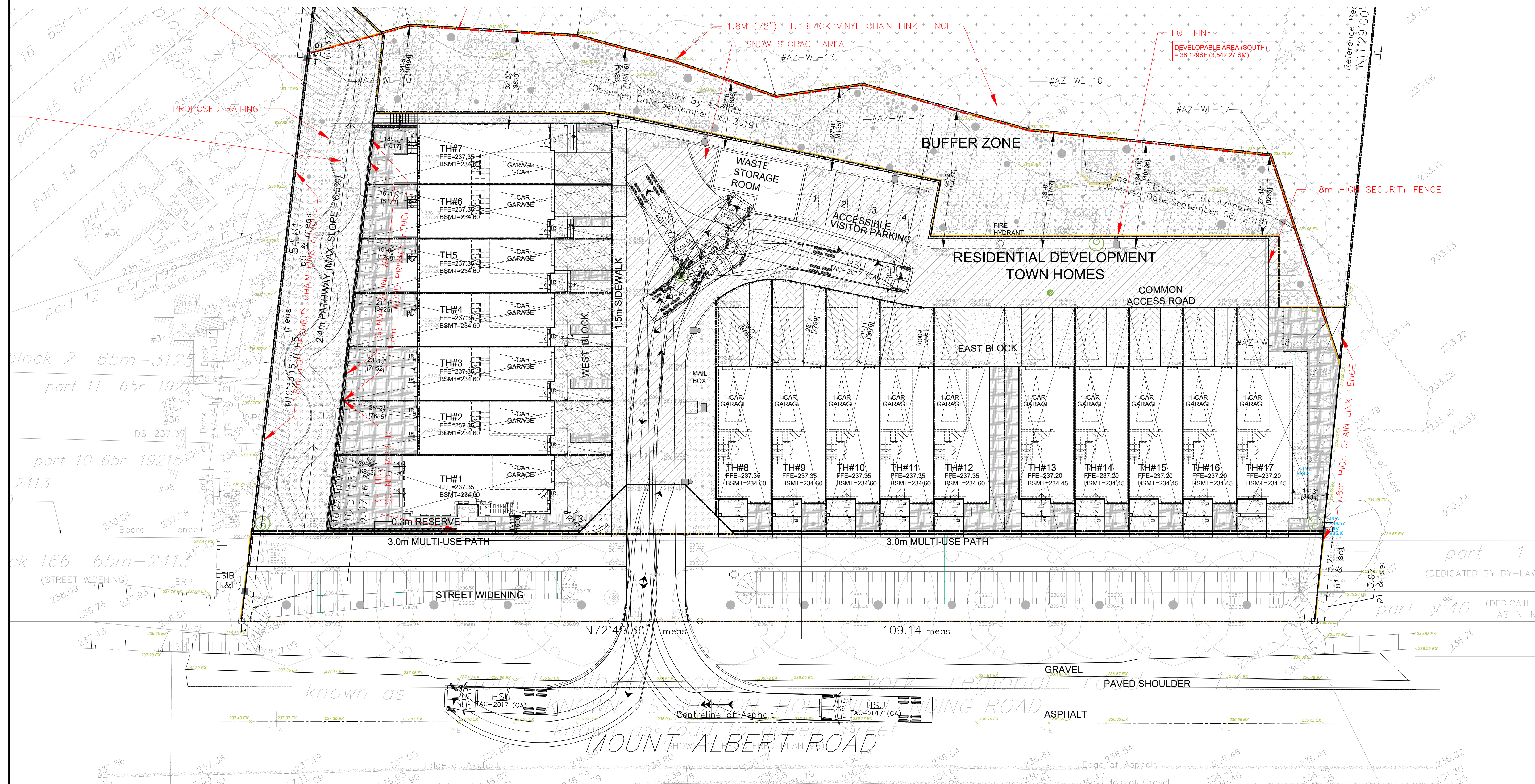
No.	Description	Date
5	REVISED FPR ZBA, SPA & DPS	06DEC2024
4	REVISED FPR ZBA, SPA & DPS	11OCT2024
3	REVISED FPR ZBA, SPA & DPS	01SEP2023
2	REVISED FOR ZBA, SPA & DPS	05JUL2021
1	ISSUED FOR ZBA, SPA & DPS	09OCT2020

Revisions:

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

LEGEND

	FIRE ROUTE/COMMON ACCESS ROAD
	PRIVATE DRIVEWAY
	SIDEWALK
	OPEN SPACE
	BUFFER AREA
	PARK/PUBLIC LAWN
	PRIVATE LAWN
	EXISTING LOT LINE
	LIMIT OF DEVELOPMENT
	PROPOSED NEW LOT LINE
	SETBACK LINE
	SIENNA STONE WALL
	1.8M HT. CHAIN LINK FENCE
	1.2M HT. CHAIN LINK FENCE
	1.2M/1.8M HT. WOOD FENCE
	3M HT. SOUND BARRIER
	STREET LIGHT



Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by:
 HS/CY
 Date:
 16AUG2016

Checked by:
 HS
 Scale:
 1 : 200

Sheet Title:
**WASTE MANAGEMENT PLAN
 SOUTH AREA (TOWNHOUSE)**

Project No:
 16210

Sheet No:
 A107

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hsai
HEMAN SHIH
ARCHITECT INC

1 WASTE MANAGEMENT PLAN - SOUTH AREA (TOWNHOUSE)
 A107 SCALE: 1 : 200



4	ISSUED FOR ZBA, SPA & DPS	06DEC2024
3	ISSUED FOR ZBA, SPA & DPS	11OCT2024
2	ISSUED FOR ZBA, SPA & DPS	01SEP2023
1	ISSUED FOR ZBA, SPA & DPS	09OCT2020
No.	Description	Date

REVISIONS:

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

LEGEND

- FIRE ROUTE/ COMMON ACCESS ROAD
- PRIVATE DRIVEWAY
- SIDEWALK
- OPEN SPACE
- BUFFER AREA
- PARK/PUBLIC LAWN
- PRIVATE LAWN
- EXISTING LOT LINE
- LIMIT OF DEVELOPMENT
- PROPOSED NEW LOT LINE
- SETBACK LINE
- SIENNA STONE WALL
- 1.8M HT. CHAIN LINK FENCE
- 1.2M HT. CHAIN LINK FENCE
- 1.2M/1.8M HT. WOOD FENCE
- 3M HT. SOUND BARRIER
- STEET LIGHT

ONTARIO ASSOCIATION OF ARCHITECTS
Heman Shih ARCHITECT INC.

Project:
PROPOSED RESIDENTIAL DEVELOPMENT

464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by:
 HS/CY

Date:
 16AUG2016

Sheet Title:
**STREETSCAPE PLAN
 SOUTH AREA (TOWNHOUSE)**

Project No:
 16210

Checked by:
 HS

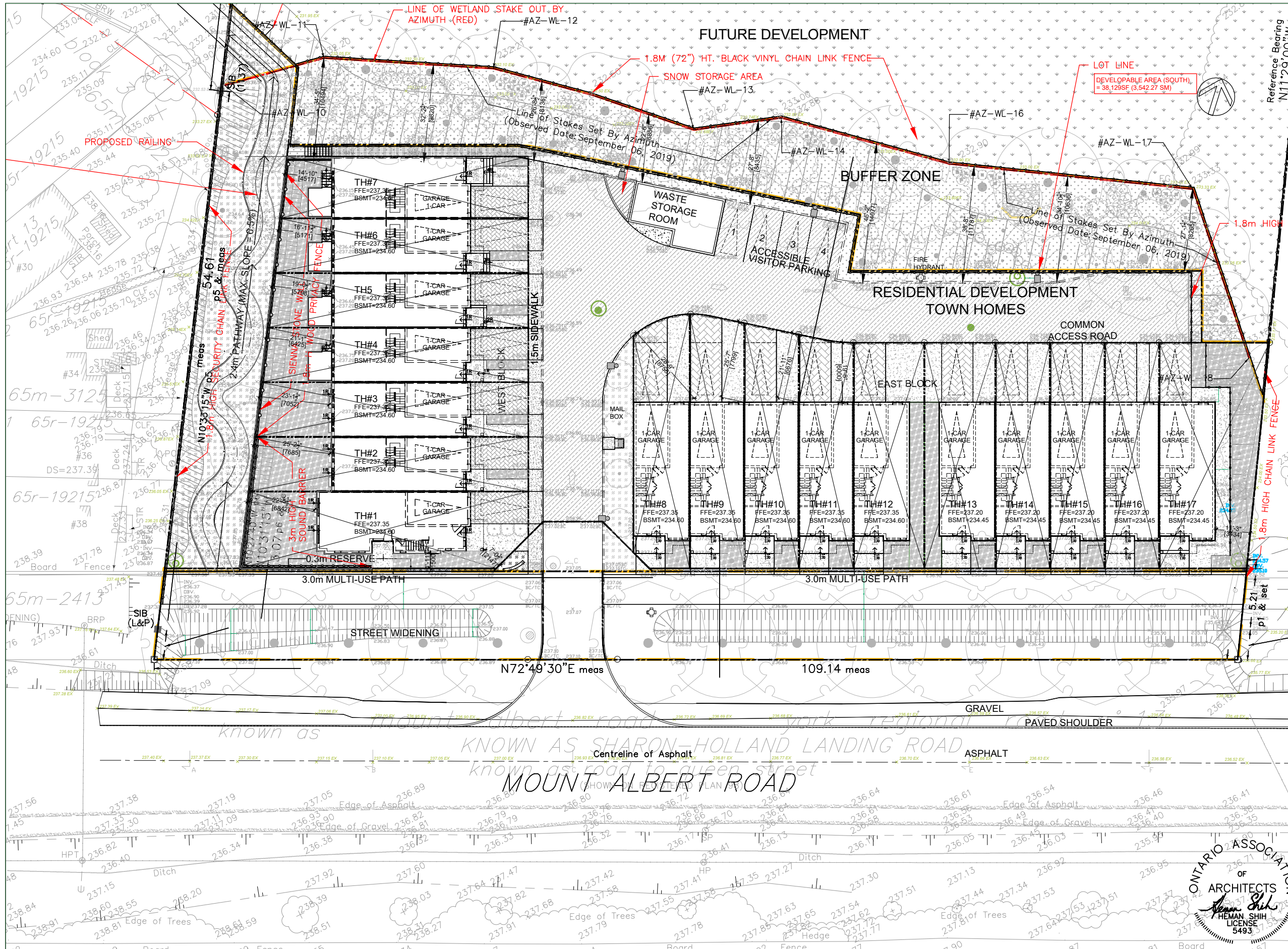
Scale:
 1 : 200

Sheet No:
A108

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hsai
HEMAN SHIH ARCHITECT INC.

1 **STREETSCAPE PLAN - SOUTH AREA (TOWNHOUSE)**
 A108 SCALE: 1 : 200



No.	Description	Date
4	ISSUED FOR COORDINATION	06DEC2023
3	ISSUED FOR COORDINATION	22JUN2023
2	REVISED FOR ZBA, SPA & DPS	05JUL2021
1	REVISED FOR ZBA, SPA & DPS	09OCT2020

REVISIONS:

LEGEND	DESCRIPTION
	FIRE ROUTE/ COMMON ACCESS ROAD
	PRIVATE DRIVEWAY
	SIDEWALK
	OPEN SPACE
	BUFFER AREA
	PARK/PUBLIC LAWN
	PRIVATE LAWN
	EXISTING LOT LINE
	LIMIT OF DEVELOPMENT
	PROPOSED NEW LOT LINE
	SETBACK LINE
	SIENNA STONE WALL
	1.8M HT. CHAIN LINK FENCE
	1.2M HT. CHAIN LINK FENCE
	1.2M/1.8M HT. WOOD FENCE

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by: HS/PC
 Checked by: HS
 Date: 23FEB2018
 Scale: 1/32"=1'-0"

Sheet Title:
STREETSCAPE PLAN

Project No: 16210
 Sheet No: A108

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2	ISSUED FOR COORDINATION	22JUN2023
	ISSUED FOR ZBA, SPA & DPS	09OCT2020
No.	Description	Date

REVISIONS:

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

Project:
PROPOSED RESIDENTIAL DEVELOPMENT

464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by: HS/CY	Checked by: HS
Date: 16AUG2016	Scale: 1 : 200

Sheet Title:
STREETSCAPE-VIEW ALONG MOUNT ALBERT ROAD

Project No:
 16210

Sheet No:
A109A

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hsai
HEMAN SHIH ARCHITECT INC

PAPER SIZE ARCH expand D

2	ISSUED FOR COORDINATION	22JUN2023
1	ISSUED FOR ZBA, SPA & DPS	09OCT2020
No.	Description	Date

REVISIONS:

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.



Project:
PROPOSED RESIDENTIAL DEVELOPMENT

464 MOUNT ALBERT RD,
EAST GWILLIMBURY, ONT.

Drawn by: HS/CY
Date: 16AUG2016

Checked by: HS
Scale: 1 : 200

Sheet Title:
STREETSCAPE-VIEW ALONG
COMMON ACCESS ROAD



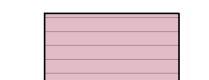



Project No: 16210
Sheet No: A109B

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FINISHES LEGEND:

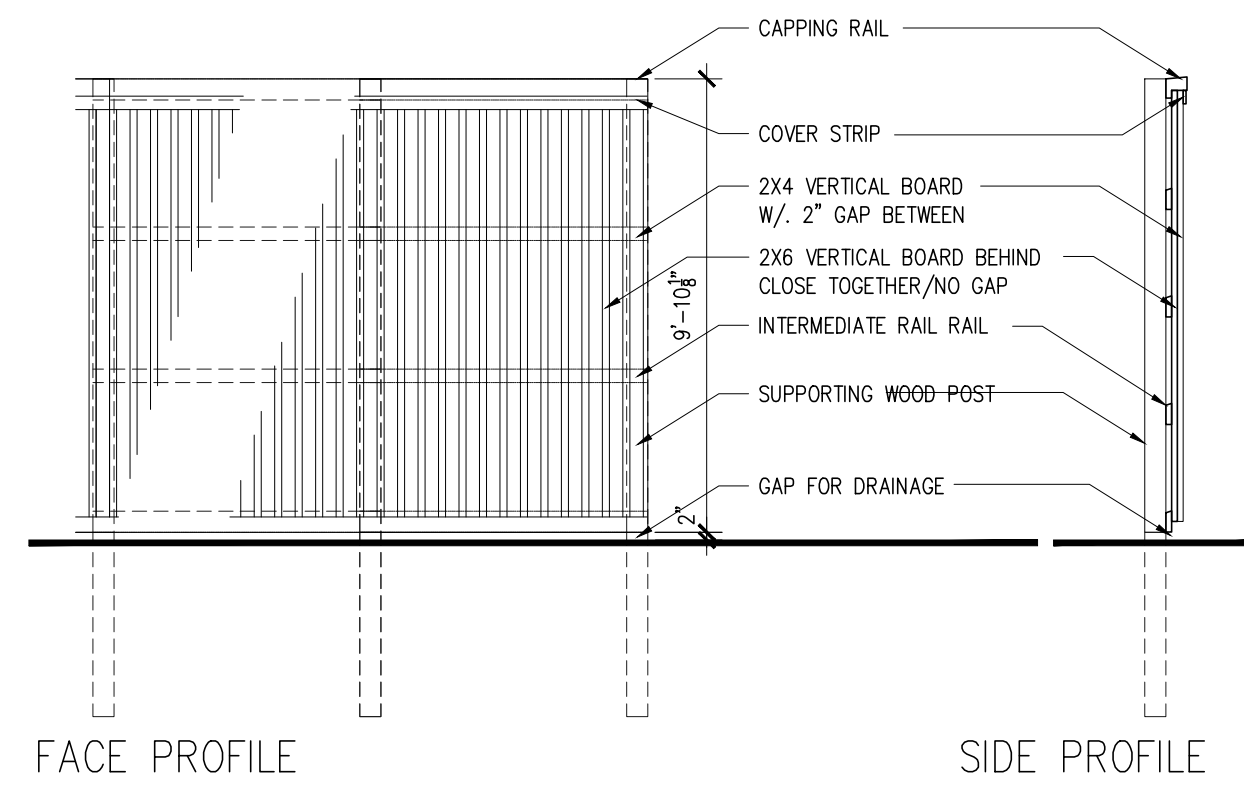
-  STUCCO (LIGHT TONE)
-  STUCCO (DARK TONE)
-  WOOD GRAIN METAL PANEL
-  BRICK
-  STONE (BRAMPTON CONTEMPO SERIES)
-  ALUMINUM COMPOSIT PANEL

4	ISSUED FOR COORDINATION	22JUN2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018
No.	Description	Date
REVISIONS:		

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

1 EAST ELEVATION OF WEST BLOCK (TOWNHOUSE #1 TO #7)

A201 SCALE: 1:100



5 SOUND BARRIER DETAILS

2 WEST ELEVATION OF WEST BLOCK (TOWNHOUSE #1 TO #7)

A201 SCALE: 1:100



3 SOUTH ELEVATION OF TOWNHOUSE #1

A201 SCALE: 1:100



4 NORTH ELEVATION OF TOWNHOUSE #7

A201

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by: HS/CY
 Date: 16AUG2016

Checked by: HS
 Scale: 1:100

Sheet Title:
**TOWNHOUSE ELEVATIONS
 WEST BLOCK (TH#1-TH#7)**

Project No: 16210
 Sheet No: **A201**

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ARCHITECT INC.

CAD DWG: 16210-464MAlberRD_20161020 PAPER SIZE: 24X36 IN.



FINISHES LEGEND:

- STUCCO (LIGHT TONE)
- STUCCO (DARK TONE)
- WOOD GRAIN METAL PANEL
- BRICK
- STONE (BRAMPTON CONTEMPO SERIES)
- ALUMINUM COMPOSIT PANEL

No.	Description	Date
6	REVISED FOR ZBA, SPA & DPS	06DEC2024
5	REVISED FOR ZBA, SPA & DPS	11OCT2024
4	REVISED FOR ZBA, SPA & DPS	01SEP2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018

All measurements are to be checked and verified on site by the contractor before proceeding with the work. Do not scale the drawings.

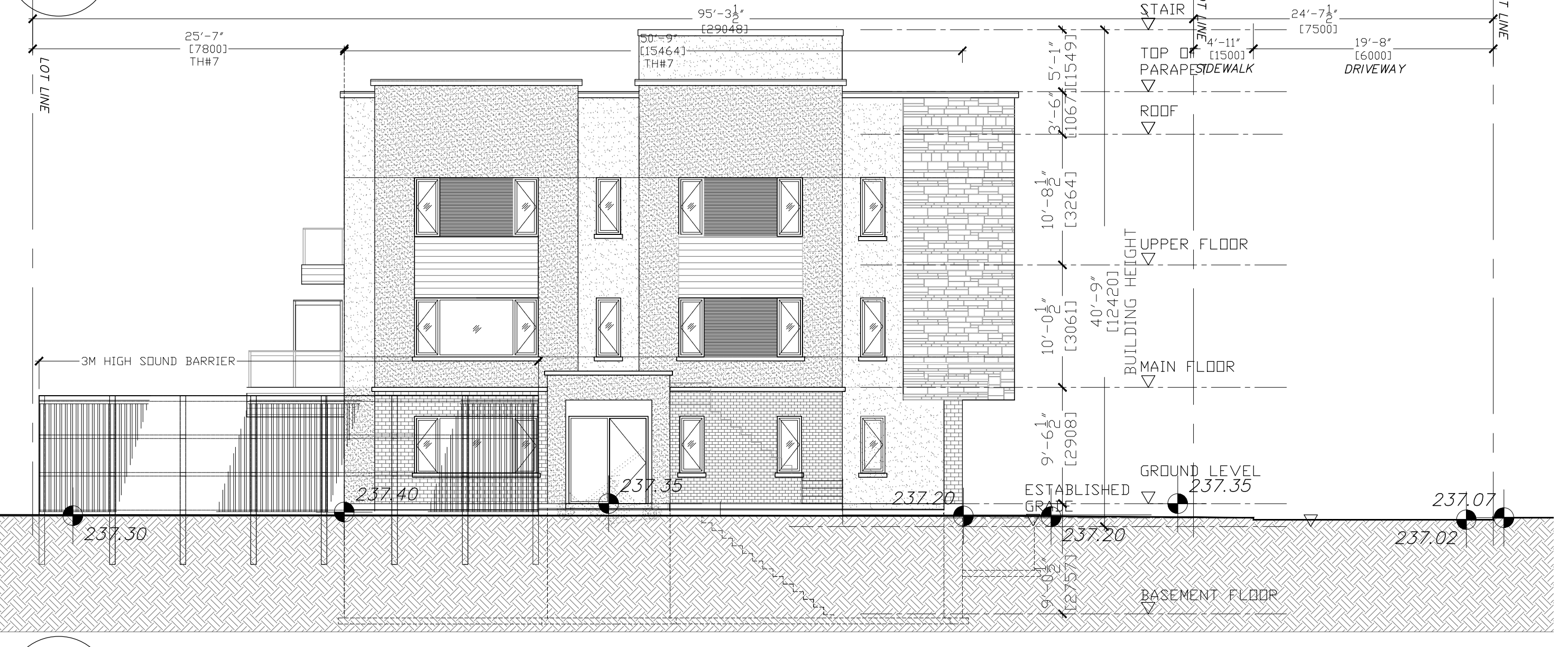
1 EAST ELEVATION OF WEST BLOCK (TOWNHOUSE #1 TO #7)

A201 SCALE: 1:100



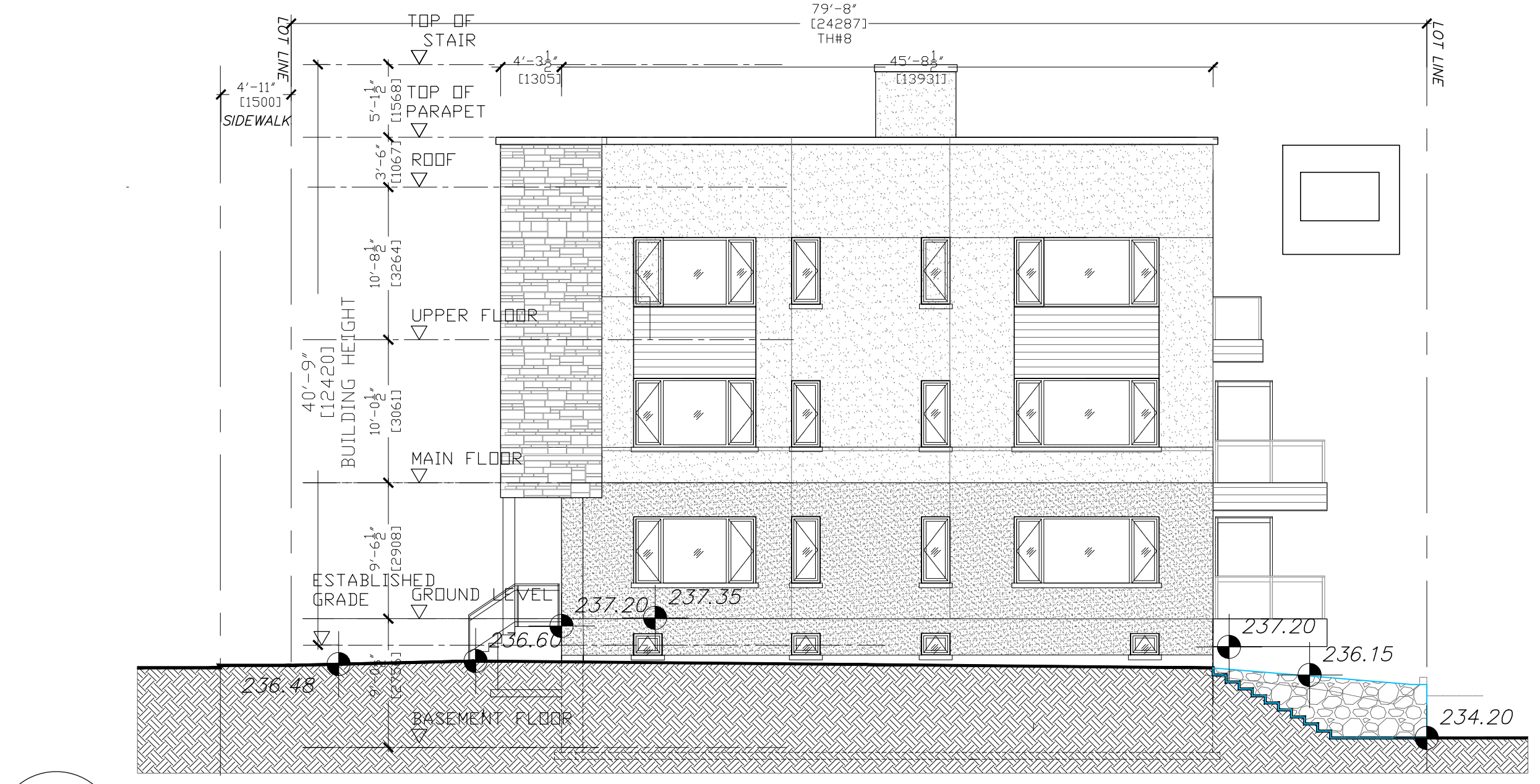
2 WEST ELEVATION OF WEST BLOCK (TOWNHOUSE #1 TO #7)

A201 SCALE: 1:100



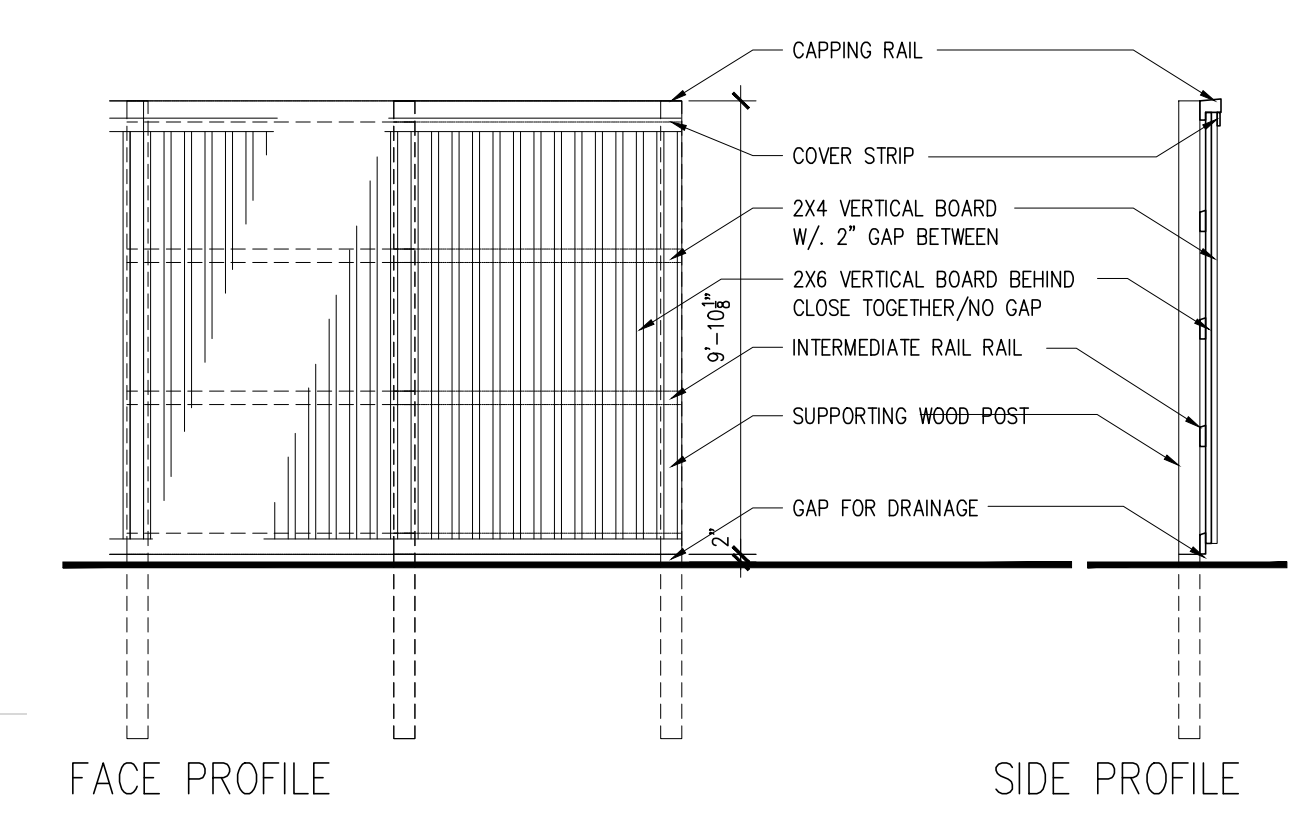
3 SOUTH ELEVATION OF TOWNHOUSE #1

A201 SCALE: 1:100



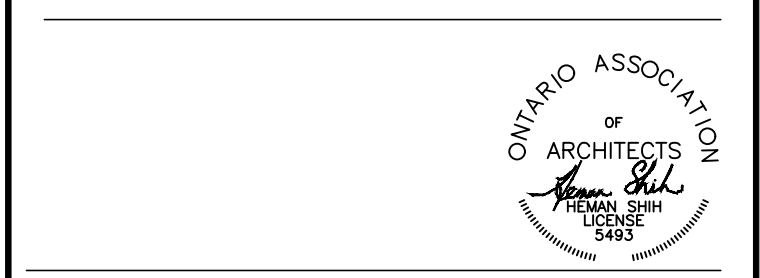
4 NORTH ELEVATION OF TOWNHOUSE #7

A201



5 SOUND BARRIER DETAILS

A201



Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 464 MOUNT ALBERT RD,
 EAST GWILLIMBURY, ONT.

Drawn by: HS/CY
 Checked by: HS
 Date: 16AUG2016
 Scale: 1:100

Sheet Title:
**TOWNHOUSE ELEVATIONS
 WEST BLOCK (TH#1-TH#7)**

Project No: 16210
 Sheet No: A201

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CAD DWG: 16210-464MAlberRD_20161020 PAPER SIZE: 24X36 IN.



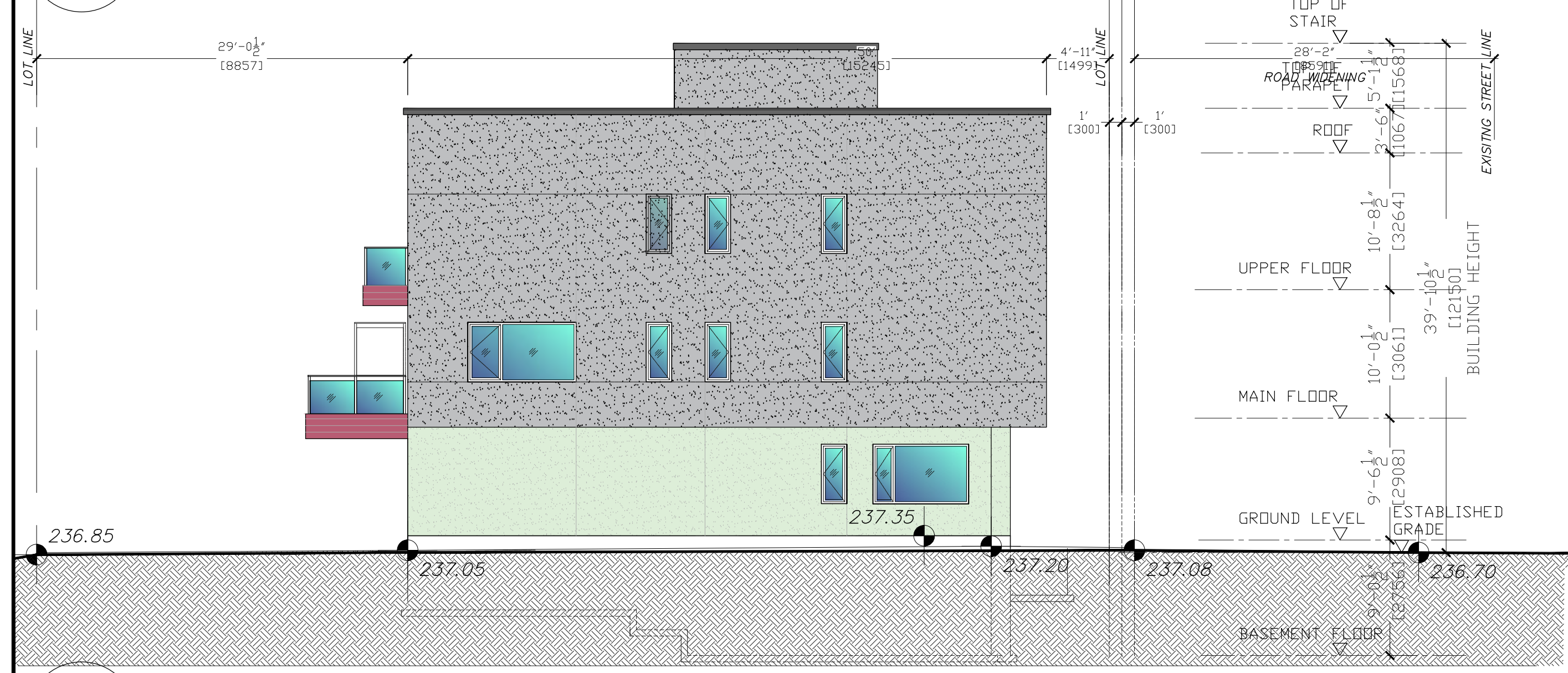
1 SOUTH ELEVATION OF EAST BLOCK (TOWNHOUSE #8 TO #17)

A202 SCALE: 1:100



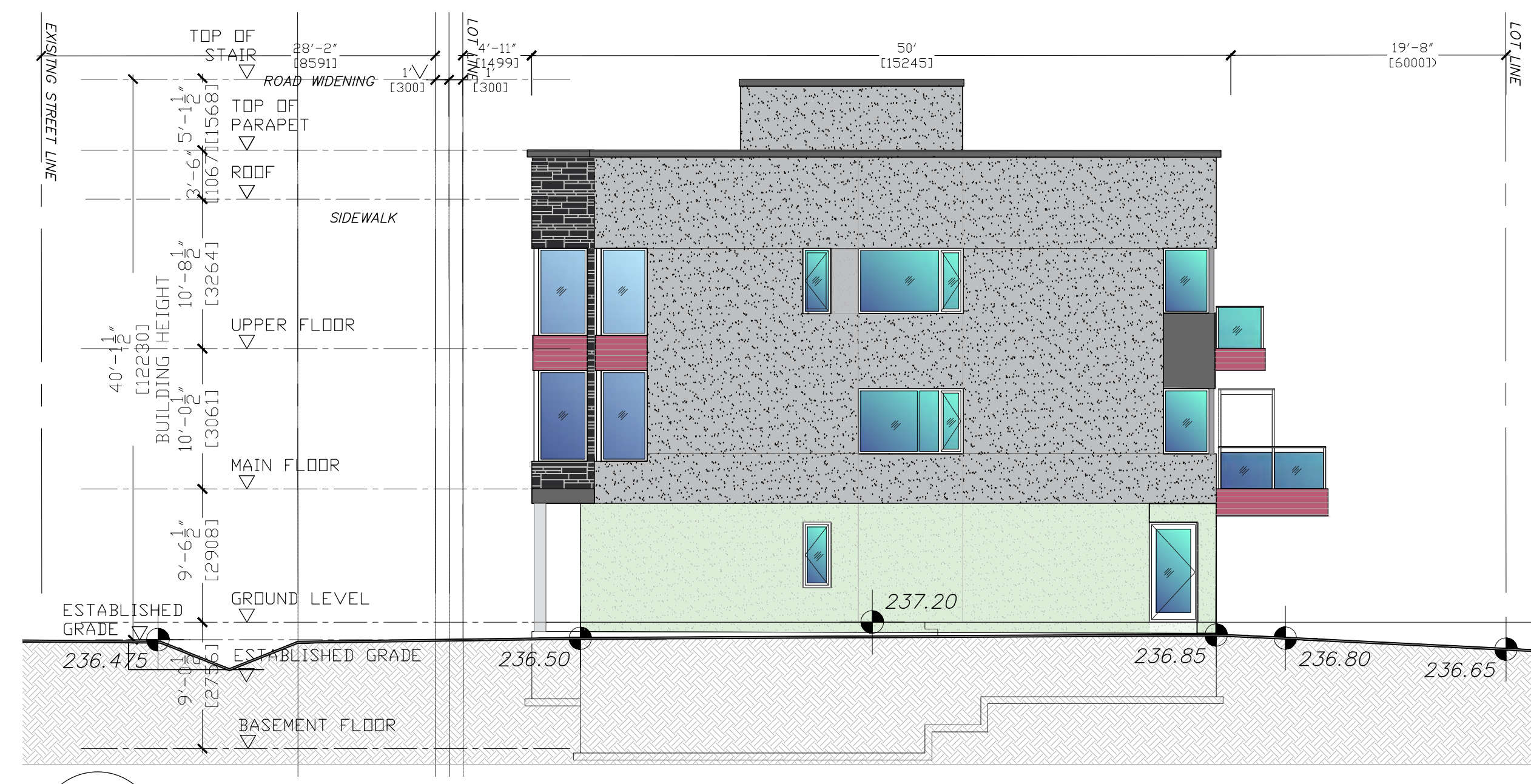
2 NORTH ELEVATION OF EAST BLOCK (TOWNHOUSE #8 TO #17)

A202 SCALE: 1:100



3 WEST ELEVATION OF TOWNHOUSE #8

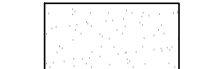

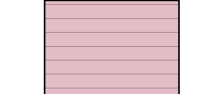



A202 SCALE: 1:100



4 EAST ELEVATION OF TOWNHOUSE #17

A202

FINISHES LEGEND:

-  STUCCO (LIGHT TONE)
-  STUCCO (DARK TONE)
-  WOOD GRAIN METAL PANEL
-  BRICK
-  STONE (BRAMPTON CONTEMPO SERIES)
-  ALUMINUM COMPOSITE PANEL

No.	Description	Date
4	ISSUED FOR COORDINATION	22JUN2023
3	REVISED FOR ZBA, SPA & DPS	05JUL2021
2	REVISED FOR ZBA, SPA & DPS	09OCT2020
1	ISSUED FOR ZBA, SPA & DPS	31JUL2018

REVISIONS:
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Project:
PROPOSED RESIDENTIAL DEVELOPMENT

464 MOUNT ALBERT RD,
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Drawn by: HS/CY
Date: 16AUG2016

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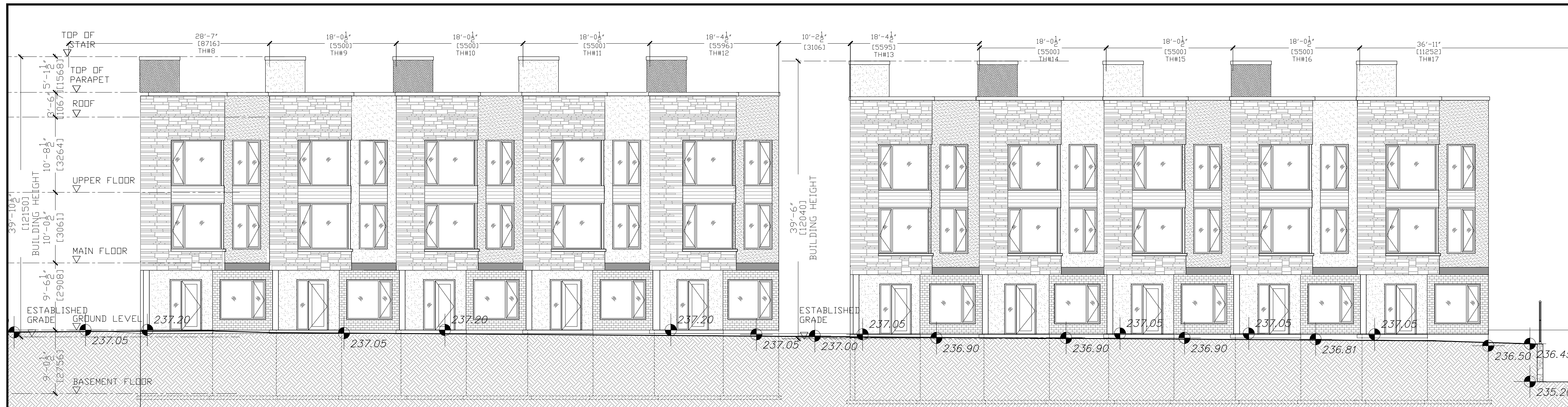
Sheet Title:
**TOWNHOUSE ELEVATIONS
EAST BLOCK (TH#8-TH#17)**

Project No: 16210
Sheet No: A202


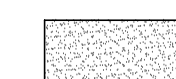

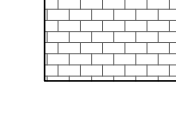
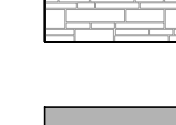

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CAD DWG: 16210-464MAlberRD_20161020 PAPER SIZE: 24X36 IN.



FINISHES LEGEND:

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-  STUCCO (DARK TONE)
-  WOOD GRAIN METAL PANEL
-  BRICK
-  STONE (BRAMPTON CONTEMPO SERIES)
-  ALUMINUM COMPOSIT PANEL

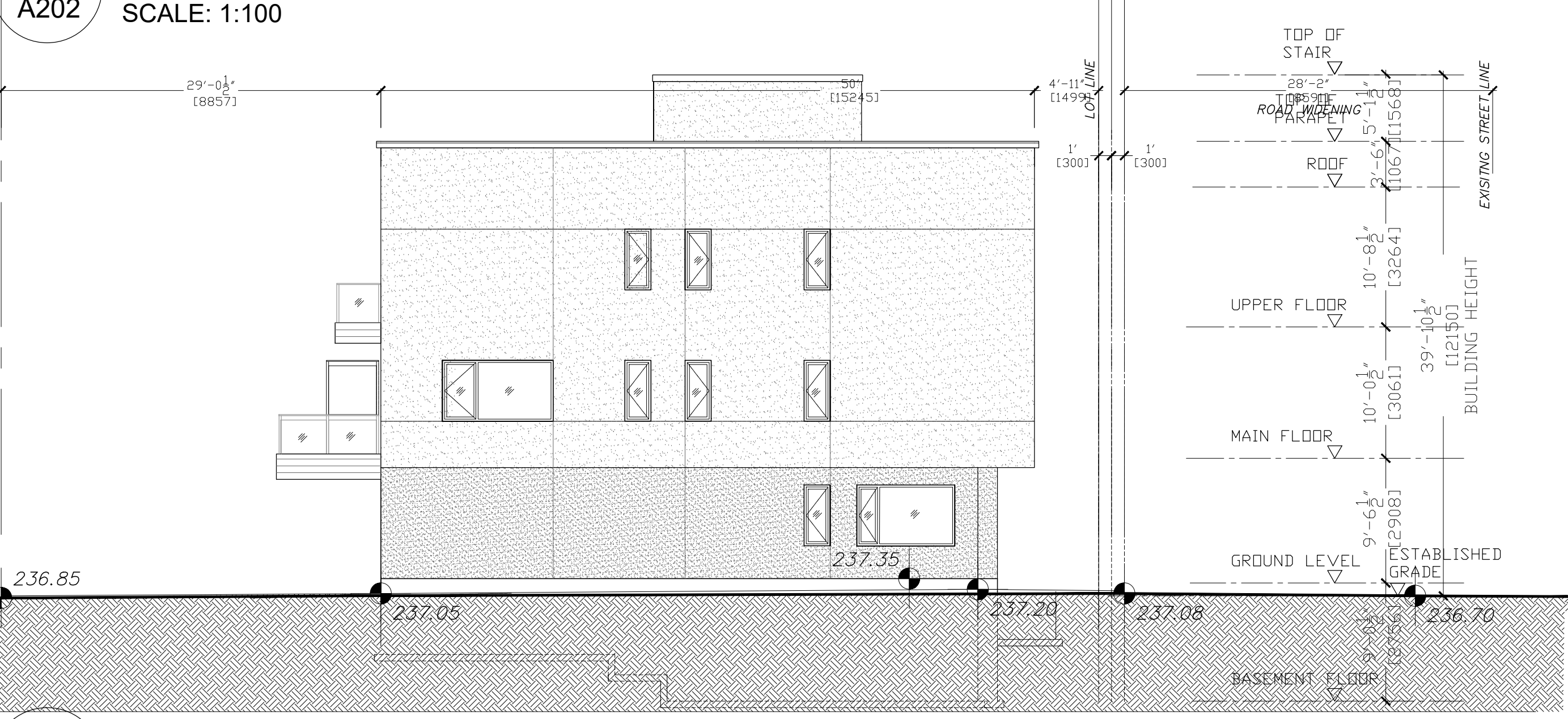
No.	Description	Date
6	REVISED FOR ZBA, SPA & DPS	06DEC2024
5	REVISED FOR ZBA, SPA & DPS	11OCT2024
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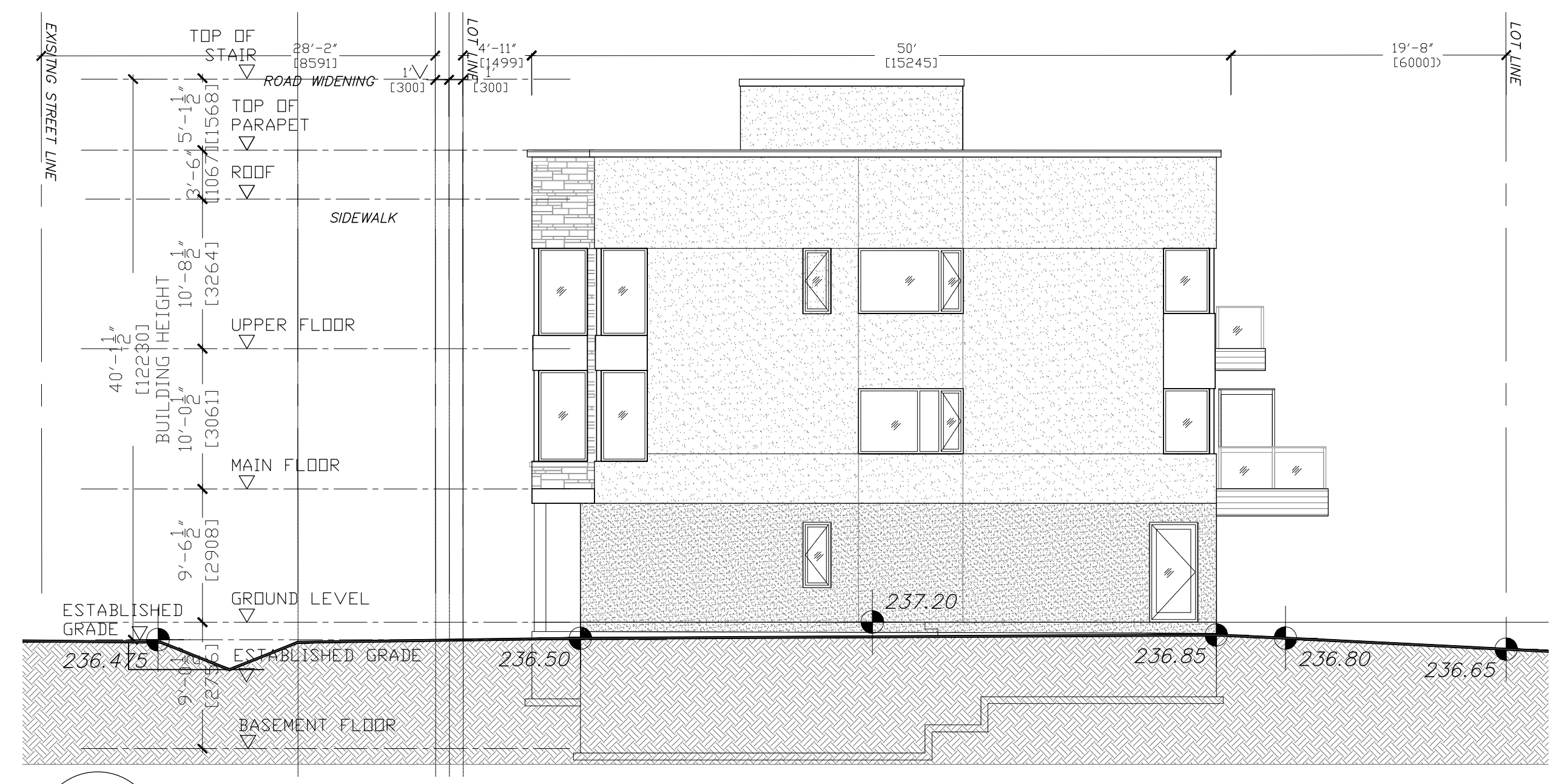
1 SOUTH ELEVATION OF EAST BLOCK (TOWNHOUSE #8 TO #17)



2 NORTH ELEVATION OF EAST BLOCK (TOWNHOUSE #8 TO #17)



3 WEST ELEVATION OF TOWNHOUSE #8



4 EAST ELEVATION OF TOWNHOUSE #17



Project:
PROPOSED RESIDENTIAL DEVELOPMENT
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Sheet Title:
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