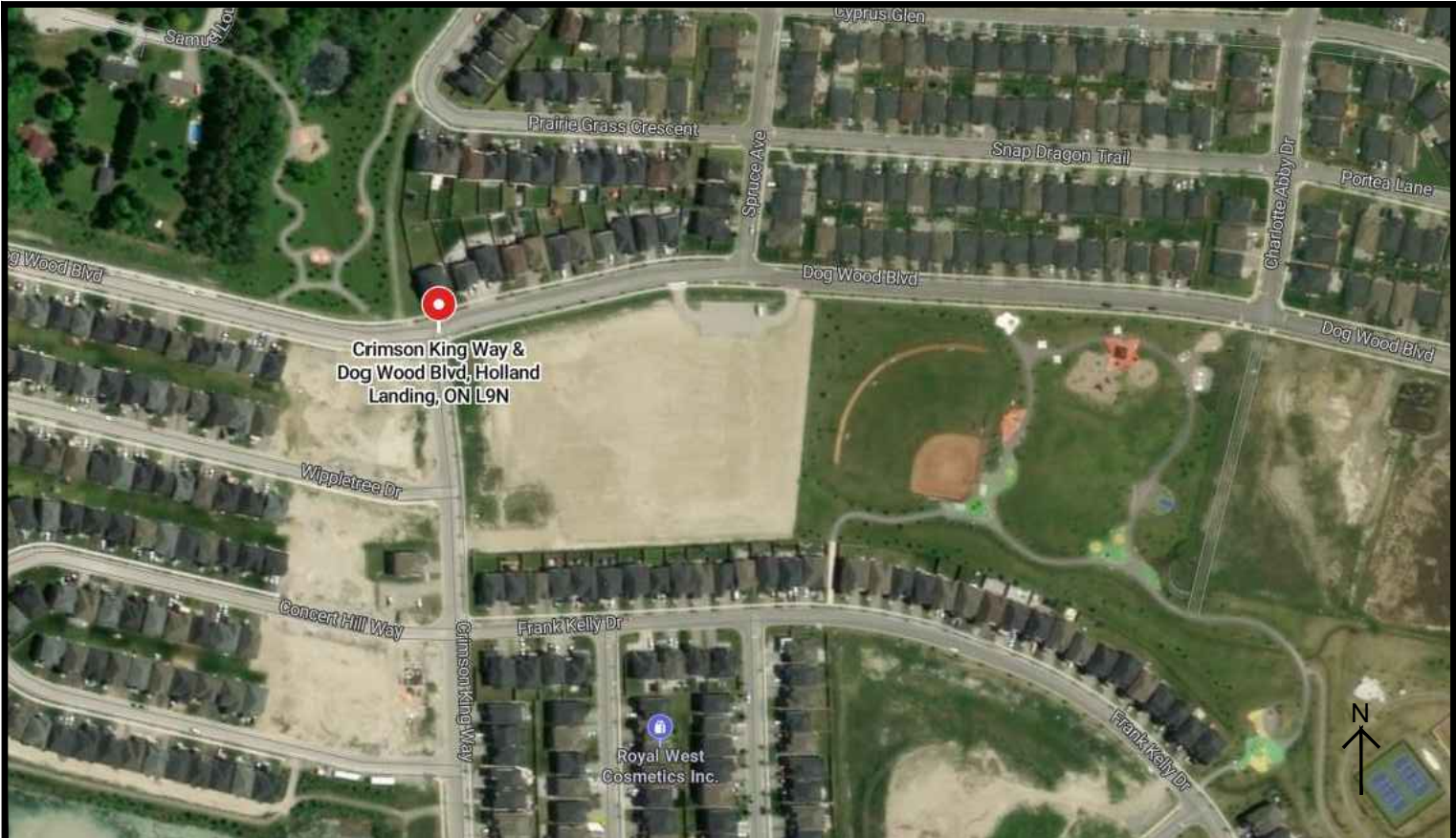


GENERAL NOTES

- The Regional Municipality of York requires that all working drawings submitted to the Building Department as part of an application for the issuance of a Building Permit shall be certified by the Architect or Engineer as being in conformity with the Ontario Building Code as approved by the Municipality of York.
- All exterior lighting will be directed onto the site and will not create any adverse properties.
- Grades will be met with 3% maximum slope over the property lines and within.
- Parking spaces reserved for the physically handicapped must be identified by appropriate signage, installed at the applicant's expense, in accordance with the designated specifications of City of York.
- Continuous 15cm high barrier type poured concrete curbing will be provided between asphalt and landscaped areas throughout the site, except at signal walkways and at signal stop areas.
- There are no underground parking structures on this project.
- The structural design of any retaining wall over 0.6 metres in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by a Structural Engineer.
- Location of signs indicating fire routes shall be to the Regional Municipality of York, Fire Department, approval.
- All roads and alleyways which are to be designated as fire routes shall be so designated as per the City's By-law prior to occupancy of the building.
- Parking spaces shall be 2.75m x 5.6m min. hard surface area.
- Continuous concrete curbing type throughout parking areas. All curbs to be 150mm/6" high barrier type poured concrete.
- Fire route access shall be constructed of hard surface material, such as asphalt, concrete or location, complying with municipal standards and have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 m.
- All surface drainage shall be self contained and collected and discharged at a location to be approved prior to issuance of a building permit. Existing drainage pattern to be maintained.

- All the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb depression will be provided for both entrances, as part of this contract.
- The top of any curb bordering the driveway within the municipal boulevard will be flush with the municipal sidewalk and road curb.
- The portion of the driveway within the municipal boulevard will be paved as part of this contract.
- Underground service materials and installations to be in accordance with the latest standards and codes throughout the site, except as signal walkways and at signal stop areas.
- Road occupancy permits must be obtained by Contractor 48 hours prior to commencing any works within the municipal road allowance.
- Pedestrian walkways are to be minimum width of 1.5m. The width of a walkway adjacent parking spaces is 1.8m minimum.
- All cast-in-place concrete to have a minimum 0.3 slump and top set per municipal standards.
- All cast-in-place concrete and construction methods must correspond to current municipal standards and specifications.
- Building construction is interrupted and/or inactivity exceeds 30 days, site preparation areas will be stabilized by seeding.
- All excess excavated material will be removed from site.
- Storm sewers (private sewers and/or within R.O.W.) and connections 200 diameter and larger to be concrete. CL 15 or concrete CL11 with type 'B' bedding throughout except at manholes, unless otherwise noted.
- All above ground utilities are to be offset a minimum distance of 150mm from all proposed driveways.

KEY PLAN N.T.S.

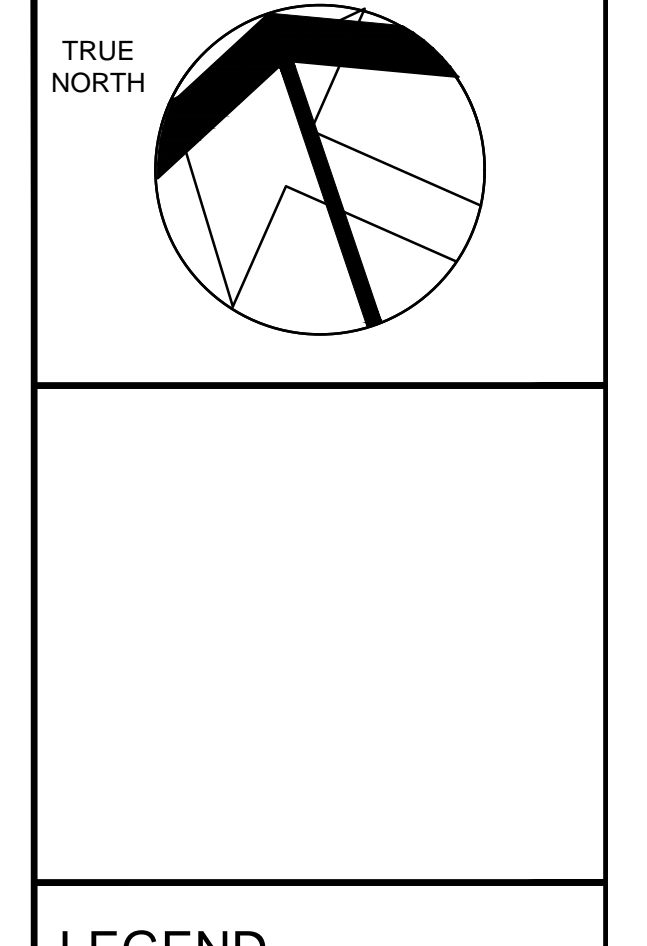


SITE STATISTICS HOLLAND LANDING ES

| LEGAL DESCRIPTION: | REGULATION: | PROVIDED: |
|------------------------------|--|--|
| ZONING: I2 - INSTITUTIONAL | K-1 | Block 224 |
| LOT FRONTAGE | 30.0 m MIN. | 193.2 m |
| LOT AREA | 460 sq.m. Minimum | 24,560 sq.m. |
| FRONT COVERAGE | 35% Max | 3,522.9/24,560 sq.m. 14.34% |
| REAR YARD SETBACK | 6.0m Minimum | 20.3m |
| INTERIOR SIDE YARD SETBACK | 7.5m Minimum | 49.7m |
| EXTERIOR SIDE YARD SETBACK | 3.0m Minimum | 88.2m |
| BUILDING HEIGHT | 15m Max | 11.3m TO PENTHOUSE |
| NUMBER OF STORES | - | 2 STORES |
| BUILDING G.F.A. GROUND FLOOR | NOT REGULATED | 3,522.9 m ² |
| | | 2,524.9 m ² |
| | | 6,047.8 m ² |
| PARKING AREA | LOTS OVER 20 SPACES REQ'D 3% PLANTED ISLANDS = 124.60 (0.3) = 123.7 m ² | PLANTED ISLANDS 138.5 m ² 3.35% |
| LANDSCAPE BUFFER | ABUTTING STREET LINE: N/A | ABUTTING RESIDENTIAL: . |
| PARKING: | SIZE OF SPACE: 5.8m X 2.75m. MIN. | 5.8m X 2.75m |
| | SIZE OF BARRIER-FREE SPACE: 5.8m X 3.4m. MIN. | 5.8m X 3.4m |
| | WIDTH OF AISLE ABUTTING PARKING: 6.0m. MIN. | 6.0m |
| SCHOOL SPACES: | = 1.5 X 27 CLASSROOMS = 42 | 101 SPACES |
| | = 9 1.5 X 6 PORTABLES = 54 | |
| | = 1.5 X 4 FUTURE ADDITION = 6 | |
| CHILD CARE SPACES: | 1.5 PER CLASSROOM = 325 SQ M / 30 = 11 | 11 SPACES |
| | = (3) + 10.8 SPACES = 14 | |
| TOTAL PARKING SPACES: | = 71 REQ'D SPACES | 112 SPACES |
| DESIGNATED SPACES: | = 1 (101-300) 3% OF TOTAL = 1 + 0.03 (99) = 4 REQ'D SPACES | 6 SPACES |
| BICYCLE SPACES: | 1/10 STUDENT OF DESIGN = 61 (1638) = 64 | |
| | (BICYCLE PARKING SIZE = 0.6m X 1.8m MIN. TYPICAL) | |
| | = 1/35 EMPLOYEES = 2 | |
| | = 2 | |
| | = 66 REQ'D SPACES | 66 SPACES |

OBC MATRIX

| | | |
|---|---|--|
| 1 PROJECT DESCRIPTION: STOREY PUBLIC SCHOOL | NEW | PART 3 |
| 2 MAJOR OCCUPANCY(S): HOLLAND LANDING ELEMENTARY SCHOOL, EAST WILMBURY | ALTERATION | PART 11 |
| 3 BUILDING AREA (SQ M): EXIST. N/A, NEW 3,522.9, TOTAL 3,522.9 | | |
| 4 GROSS AREA (SQ M): EXIST. N/A, NEW 6,047.8, TOTAL 6,047.8 | | |
| 5 NO. OF STOREYS ABOVE GRADE: 2 | BELOW GRADE: 0 | |
| 6 NUMBER OF STREET ACCESS ROUTES: 1 | | |
| 7 BUILDING CLASSIFICATION: 3,2,2,24 Group A, Division 2, up to 6 storeys, Any Area, Sprinklered | | |
| 8 SPRINKLER SYSTEM PROPOSED: ENTIRE BUILDING | BASEMENT ONLY | IN LIEU OF ROOF RATING |
| 9 STANDPIPE REQUIRED: YES | NO | |
| 10 FIRE ALARM REQUIRED: YES | NO | |
| 11 WATER SERVICE/SUPPLY IS ADEQUATE: YES | NO | |
| 12 HIGH BUILDING: YES | NO | |
| 13 PERMITTED CONSTRUCTION: COMBUSTIBLE | NON-COMBUSTIBLE | BOTH |
| 14 MEZZANINE(S) AREA (SQ M): N/A | | |
| 15 OCCUPANT LOAD BASED ON: N/A | DESIGN OF BUILDING: SEE ATTACHED CHARTS FOR DETAILED CALCS. | |
| 16 BARRIER-FREE DESIGN: YES | NO | |
| 17 HAZARDOUS SUBSTANCES: YES | NO | |
| 18 REQUIRED FIRE RESISTANCE RATING (FRR) | HORIZONTAL ASSEMBLIES (FRR) HOURS | LISTED DESIGN NO. OR DESCRIPTION (SQ-M) |
| | FLOOR(S) 1 HOURS | 2ND FLOOR IS 250mm THICK PRECAST CONCRETE SLAB WITH 50mm OF CONCRETE TOPPING |
| | ROOF 0 HOURS | |
| | MEZZANINE N/A HOURS | N/A |
| | FRR OF SUPPORTING MEMBERS HOURS | LISTED DESIGN NO. OR DESCRIPTION (SQ-M) |
| | FLOOR(S) HOURS | UL DESIGN NO. 267: spray fireproofing to all exposed steel members supporting 2nd floor. |
| | ROOF 0 HOURS | All loadbearing walls are 140 or 190 non-combustible masonry block and have a fire resistance rating of at least 1 hour. |
| | MEZZANINE N/A HOURS | N/A |
| 19 SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (NON-COMBUSTIBLE) | | |
| | WALL AREA OF EBF (sq m.) | L.D. (m) L/H OR H/L PERMITTED MAX. PROPOSED % OF OPENINGS |
| | NORTH N/A | N/A |
| | SOUTH N/A | N/A |
| | EAST N/A | N/A |
| | WEST N/A | N/A |



LEGEND

- Fire Hydrant
- Manhole, Ref. Civil DWG.
- For T & T Elevations
- Catch Basin, Ref. Civil DWG.
- For T & T Elevations
- Main School Entrance
- Secondary School Entrance
- Proposed Light Standards
- Refer to Electrical Drawings
- Existing Street Light Standard
- Refer to Site Grading Plan for Solution Details
- Tree Protection, Ref. Civil & Landscape
- Existing Post & Wire Fence to be Removed
- Black Vinyl Chainlink Fence (Height as Indicated)
- Existing Parking Lot Weeping Tile
- Bollard
- Borehole
- Directional Arrow
- Utility Pole
- Guy Wire/Pole
- Culvert Invert
- Found Monument
- Iron Bar
- Water Valve
- Water Key
- Waste Receptacle
- Provided by Owner
- Asphalt Imp. Rd. & L.D. See AD DWGS.
- Concrete Walkway or Pad
- Reinforced Concrete for Freeway Truck Support
- Tactile Indicator
- Bicycle Parking
- Pack Park, Box Room
- Per Bicycle Space
- Refer to Landscape DWGS.
- Designated Snow Storage

Ontario Association of Architects
 HOLLAND LANDING ELEMENTARY SCHOOL
 CRIMSON KING WAY & DOGWOOD BOULEVARD, EAST WILMBURY

York Region DISTRICT SCHOOL BOARD

SITE PLAN

HOSSACK ARCHITECTURE

SCALE: 1:250
 PROJECT: 24107
 DATE: 9 JULY 2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PRINT DATE: JUNE 2024
 CAD FILE: T:\2024\24107\YR08HILES